



City of Fairburn Planning and Zoning Agenda

June 2, 2026

7:00 PM

Michelle James, Chairperson

Elizabeth Echols, Commissioner
Lina Parker, Commissioner

Jason Jones, Commissioner
Tony Smith, Commissioner
Kenneth Williams, Commissioner

Mrs. Valerie Ross
Ms. Denise Brookins
Mr. Chancellor Felton

City Attorney
Planning & Zoning Director
City Planner

- I. Meeting Called to Order:
- II. Determination of a Quorum:
- III. Pledge of Allegiance:
- IV. Approval of the Meeting Agenda:
- V. Approval of the Minutes:
- VI. Public Comments:
- VII. Old Business:
- VIII. Public Hearings:
 1. Variance Request: Murray Residence – 4 Azalea Drive:
- IX. New Business:
 2. Concept Plan - CSX Support Track:
 3. Text Amendment - Coworking Space:
- X. Adjournment:

When an Executive Session is required, one will be called for the following Issues:
(1) Litigation



CITY OF FAIRBURN PLANNING AND ZONING AGENDA ITEM

SUBJECT: Variance Request: Murray Residence – 4 Azalea Drive

ITEM TYPE: Other/Planning and Zoning

SUBMITTED: 05/29/2026 **WORK SESSION:** N/A **COUNCIL MEETING:** N/A

DEPARTMENT: Planning & Zoning

BUDGET IMPACT: N/A

PUBLIC HEARING: Yes

PURPOSE:

For the Planning and Zoning Commission to consider a variance request for a reduction of the side setback.

HISTORY:

N/A

FACTS AND ISSUES:

The subject property is located at 4 Azalea Drive, at the north corner of the intersection of East Campbellton Street and Azalea Drive, within the R-2 (Single-Family Residential) zoning district. The site encompasses approximately 0.19 acres. The applicant proposes to construct a 3,200-square-foot single-family detached dwelling on the property. The applicant is requesting a reduction of the side setback from 15 feet to 10 feet.

FUNDING SOURCE:

RECOMMENDED ACTION:

Staff recommends approval, subject to the following condition: Any significant modifications to the proposed site plan regarding the 15-foot side setback reduction, as determined by Staff, shall require additional review by the Planning and Zoning Commission.

ATTACHMENTS:

1. 4 Azalea Drive Side Setback Variance Staff Report Package

CITY OF FAIRBURN
PLANNING & ZONING COMMISSION

AGENDA ITEM

To: Planning and Zoning Commission

From: Chancellor Felton, Planner

Date: June 2, 2026

Agenda Item: Murray Residence – 4 Azalea Drive [Parcel ID: 09F100400531342] – Request to reduce the Side Setback from 15' to 10'.

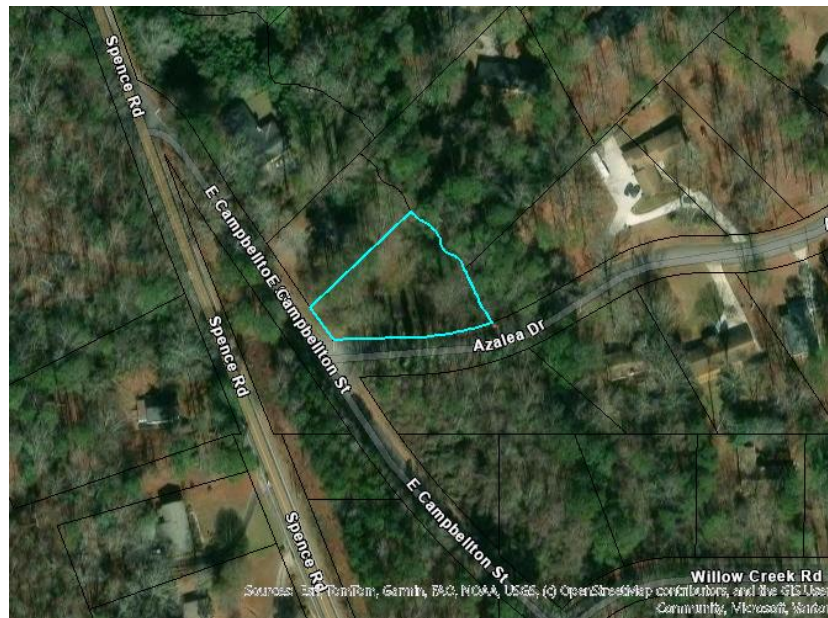
Agent/Applicant/Petitioner Information

Applicant: George Murray, Jr.

Property Owner: George Murray, Jr.

Background

The site is located at 4 Azalea Drive at the north corner of the intersection of East Campbellton Street and Azalea Drive. The site is currently zoned R-2 (Single-family Residential). The site is approximately 0.19 acres.



Discussion

The applicant is proposing to construct a 3,200-square-foot single-family detached dwelling.

The Zoning Code requires that “uses permitted in the R-2 zoning district shall conform to the following standards: ... Minimum side yard setback, 15 feet.”

The applicant is proposing to reduce the Side Setback from 15 feet to 10 feet.

Authority

As authorized in Section 80-254, the Planning and Zoning Commission may authorize variances from any zoning ordinance provision that is not being handled as a minor, administrative minor, or concurrent variance only upon making the following findings:

Variance Considerations

Section 80-251 – Variances may be considered in all districts. Primary variances and concurrent variances shall only be granted upon showing that:

1. Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter.
This criterion has been satisfied. The purpose and intent of the R-2 district is to provide areas within the City for medium-density residential. Therefore, if relief is granted, the proposed construction would be in harmony with the general purpose and intent of the R-2 district.
2. The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its lot size, shape, or topography, would create an unnecessary hardship for the owner while causing no detriment to the public.
This criterion has been satisfied. This property does have extraordinary and exceptional conditions, because of its topography, floodplain, size, and shape that would create an unnecessary hardship for the owner while causing no detriment to the public.
3. Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.
Not applicable.

Staff Recommendations

Staff recommends **APPROVAL** with the following condition:

1. Any significant modifications as determined by Staff to the proposed site plan in regard to the 15-foot Side Setback reduction would necessitate a further review by the Planning and Zoning Commission.

Attachments:

- Site Pictures
- Application
- Letter of Intent
- Deed
- Legal Description
- Current Survey
- Proposed Plans
- Primary Variance (10.24.2023)

SITE PICTURES



North corner of the intersection of East Campbellton Street and Azalea Drive



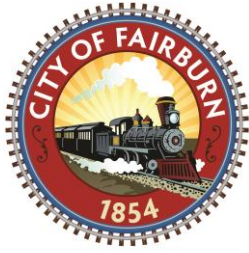
Northwest viewpoint



West viewpoint



VARIANCE APPLICATION PACKET



PROCEDURES AND INFORMATION FOR FILING A VARIANCE

Applications are available at the Office of Planning and Zoning, 26 West Campbellton Street, Fairburn, GA 30213 or online at www.fairburn.com. **Read the following instructions prior to filing and refer to the included filing schedule.**

A PRE-APPLICATION MEETING IS REQUIRED PRIOR TO FILING. To schedule a meeting, please contact the Planning and Zoning Office at 770-964-2244.

TYPES OF VARIANCES:

Listed below are the types of variances. Please identify the type of variance requested and check the appropriate box in Section I or Section II of the VARIANCE APPLICATION.

VARIANCES THAT DO NOT REQUIRE A PUBLIC HEARING:

The following variances are handled administratively by the City's Office of Planning and Zoning.

1. **MINOR VARIANCES:** Administrative relief can only be sought from the minimum yard requirements of the zoning district not to exceed 10% of the setback. (Example: 35-foot front yard = 3.5-foot variance). Letters from adjoining property owners are required at the time of filing.
2. **ADMINISTRATIVE MINOR VARIANCE:** Administrative relief from the minimum yard setback requirements for one foot or less.

VARIANCES THAT REQUIRE A PUBLIC HEARING:

The following variances require a public hearing and action by the Planning and Zoning Commission:

1. **PRIMARY VARIANCE:** Applicant seeks relief from the provisions of the Zoning Ordinance. All such appeals shall be heard by the Planning and Zoning Commission and shall be accompanied with a statement of hardship (See the Variance Considerations below).
2. **SECONDARY VARIANCE:** Applicant seeks to appeal a decision of the Zoning Administrator or seeks to appeal a decision on an Minor Variance or Administrative Minor Variance.

The following variances require a public hearing and action by the City Council:

3. **CONCURRENT VARIANCE:** Applicant seeks a variance in conjunction with a rezoning, use permit or zoning modification request on the same property, based, on the conceptual plan submitted with the petition for the same agenda.

FILING REQUIREMENTS FOR ALL VARIANCES:

1. **APPLICATION CHECKLIST:** See enclosed Variance Application Checklist. **Contact Staff at 770-964-2244 to schedule an appointment for a variance pre-application review meeting.**
2. **APPLICATION FORM:** Variance Applications must have an **original NOTARIZED SIGNATURE** of the property owner(s) of record or a notarized statement by the appellant acting as power of attorney for the property owner. Where there are multiple owners, a notarized signature of each and all owners must be submitted with the application.
1. **SURVEY:** An accurate, to scale, up-to-date certified survey of the property shown with metes and bounds must be submitted with the Variance Application. The survey should include existing thoroughfares; existing drainage areas; existing buildings, structures and facilities; existing utilities on or adjacent to the property; and ownership, zoning and uses of all property adjacent to or within 200 feet of the property. must establish a point of beginning and from said point of beginning, give each dimension bounding the property, calling the directions (such as north, northeasterly, etc.) and returning to the point of beginning. The property’s address must also be identified.
2. **LEGAL DESCRIPTION:** A legal description of the subject property must be submitted with the Variance Application. Legal Descriptions must establish a point of beginning and from said point of beginning, give each dimension bounding the property, calling the directions (such as north, northeasterly, etc.) and returning to the point of beginning. The property’s address must also be identified.
3. **WARRANTY DEED:** A copy of the warranty deed must be submitted with the Variance Application.
4. **LEASE AGREEMENT:** When applicable, a copy of the lease agreement between the property owner and the applicant must be included with the Variance Application. The lease must identify the party responsible for the reclamation of the property.
5. **LETTER OF INTENT:** The letter of appeal shall state in detail the proposed project, the variance request, and a hardship statement stating that the granting of a variance will alleviate some demonstrated and unusual hardship for which a variance is warranted.
6. **CONCEPTUAL SITE PLAN:** The conceptual site plan must be drawn in accordance with the *Code of Ordinances, Chapter 62, Article V. The Building Process*. Site plan must include the following items:

1.	An accurate, up-to-date and certified survey of the property on which the project is to be built.
2.	A vicinity map showing the property in relation to the general area of the city in which it is located.
3.	The name of the proposed project.
4.	Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.
5.	Graphic scale, north arrow, and date of preparation.
6.	Zoning of the property with required setbacks shown.
7.	Zoning, use, and ownership of all adjoining property
8.	Total area of the site, and the area of the site proposed to be devoted to impervious surfaces.
9.	Approximate topography of the site.
10.	Significant natural features on and adjacent to the site, including the 100-year floodplain, if appropriate.
11.	Existing manmade features on the site.

12.	Proposed site layout including buildings, drives, parking, walkways, landscaped-areas, tree save areas, buffers, easements, utilities and any other features necessary to properly present the concept.
13.	Proposed off-site improvements which may be necessary to properly develop the site.
14.	Architectural elevations to show the intended architectural character of the proposed building and the nature of the materials to be used.
15.	If the site plan is for an addition to or a change in an existing site plan, the drawings must clearly show the changes that are being proposed.

7. VARIANCE APPLICATION FEE:

\$350.00, payable by cash, check, money order or credit card (*except American Express*), plus **\$31.00** Notice of Public Hearing Sign

ALL CHECKS PAYABLE TO THE "CITY OF FAIRBURN." VARIANCE APPLICATION FEES ARE NON-REFUNDABLE

ALL REQUESTS FOR VARIANCES SHALL HAVE A STATEMENT OF HARDSHIP. THE FOLLOWING CONSIDERATIONS SHALL BE USED IN JUSTIFYING THE HARDSHIP.

VARIANCE CONSIDERATIONS: Variances may be considered in all districts. Primary variances and concurrent variances shall only be granted upon showing that:

- Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this Chapter or;
- The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape, or topography, would create an unnecessary hardship for the owner while causing no detriment to the public; or
- Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.

Should a variance request impact approved zoning conditions, a separate Zoning Modification Application may be necessary.

VARIANCE LIMITATIONS: Please note that *no* variances shall be allowed for the following:

- Permitted uses or accessory uses for the zoning district
- Minimum lot area, minimum lot frontage on a street or minimum district size required in each zoning district
- Relief from the standards of Article VI (*The Appeals Process*) or Article VIII (*The Rezoning Process*)

PROCEDURES FOR FILING ALL VARIANCE APPLICATIONS:

1. **PRE-APPLICATION MEETING:** The property owner or applicant should schedule a pre-application meeting with the Zoning Administrator or his/her designee to discuss the request and necessary documents, fees and schedules pertinent to the request.
2. **APPLICATION SUBMITTAL:** The property owner or applicant shall submit a complete application to the Planning and Zoning Office.

3. **INITIAL STAFF REVIEW:** Completed applications will be distributed to appropriate city staff for review and comment. All staff comments will be submitted to the Planning and Zoning Office within 10 business days.
4. **RESUBMITTAL:** Upon receipt of staff comments, all comments will be consolidated into a single report for distribution to the applicant. The applicant should revise plans according to the comments received and resubmit plans to the Planning and Zoning Office.
5. **PUBLIC NOTICE:** The Planning and Zoning Office staff will prepare newspaper ads and property signs to assure proper notice of public hearings. Property signs must be placed on the site between 15 to 45 days before the date of the public hearing.
6. **STAFF EVALUATION:** A staff analysis report with a recommendation to the Planning and Zoning Commission will be prepared.
7. **PLANNING & ZONING COMMISSION:** The Planning and Zoning Commission shall hold a public hearing on the application and make a decision on the request. Conditions may be included as part of the decision. The Planning & Zoning Commission meets on the first Tuesday of each month (as needed) at Fairburn City Hall, 56 Malone Street, Fairburn, GA 30213.
8. **APPEALS.** Appeals of primary variance decisions shall be filed with the Fulton County Superior Court within 30 days of the Planning and Zoning Commission decision. Appeals to decisions of the Zoning Administrator (also called secondary variances/interpretations) shall be filed within 30 days of the decision to the Planning and Zoning Commission.



VARIANCE PUBLIC HEARING INFORMATION

Public hearings are required for Primary Variances and Secondary Variances. Public notification is required for Minor Variances.

Public Hearings for Primary Variances and Secondary Variances must be advertised in the manner listed below. Public Hearings for Concurrent Variances must be advertised with their associated rezoning, use permit or zoning modification requests.

POSTING OF PUBLIC HEARING SIGNS:

- **PLANNING AND ZONING COMMISSION PUBLIC HEARING NOTICE SIGN:** Signs posted along the frontages of Properties subject to variances that notify area residents of the Planning and Zoning Commission public hearing. **Applicants are required to post the public hearing sign in a conspicuous place along the property's public street frontage, no later than 20 days before the Planning and Zoning Commission hearing.** *Failure to post the signs by this deadline will result in the administrative removal of the public hearing from the agenda.* The sign must remain posted on-site until final action by the Planning and Zoning Commission. If the sign is mutilated and/or removed, the applicant is responsible for obtaining and re-posting a new sign.

OTHER PUBLIC NOTIFICATION FOR VARIANCES:

- Notice is mailed (via U.S. Mail) by City of Fairburn to all property owners within a 500-foot radius of the subject property. Said notice is postmarked no later than 15 days prior to the public hearing to property owners of record as shown on the real estate tax records of Fulton County as retrieved by the County's Geographic Information Systems.
- A published notice in a newspaper of general circulation is done by the City of Fairburn no later than 15 days prior to the public hearing. The published notice contains the time, place, purpose of the hearing and the location of the property.
- Minor variances require the applicant to notify the immediately adjacent property owners via email and/or certified mail.

PUBLIC HEARING DATES:

- **APPLICATION DEADLINES:** A schedule with deadlines and public hearing dates for all Variances can be found on the final page of this application packet.
- **PLANNING AND ZONING COMMISSION MEETING:** Primary and Secondary Variances are decided by the Planning and Zoning Commission. The Planning and Zoning Commission holds public hearings on the first Tuesday of each month at 7:00 p.m.

IF YOU HAVE ANY QUESTIONS CONCERNING THESE VARIANCE FILING PROCEDURES, PLEASE CONTACT THE PLANNING AND ZONING OFFICE AT 770-964-2244.



VARIANCE APPLICATION CHECKLIST

Please submit one (1) copy of the following documents and information.

ITEM #	REQUIRED ITEM	CHECK <input type="checkbox"/> (Office Use Only)
1.	Application Checklist	
2.	Application Form	
3.	Survey	
4.	Legal Description	
5.	Warranty Deed	
6.	Lease Agreement	
7.	Letter of Intent	
8.	Conceptual Site Plan	

Fees: \$350 per variance application and \$31 public hearing sign

For any documents that are larger than 11" x 17," a copy reduced to 11" x 17" shall also be required.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

APPLICATIONS ARE ACCEPTED MONDAY – FRIDAY FROM 9:00 A.M. TO 3:00 P.M.



APPLICATION FOR VARIANCES

Date Received: _____

VARIANCE #: _____
(Office Use Only)

SECTION I – GENERAL INFORMATION

APPLICANT INFORMATION

Applicant Name: <u>George Murray, Jr.</u>
Address: <u>301 Marble Springs Road, Lilburn, GA 30047</u>
Phone: _____ Cell: <u>770-870-7702</u> Fax: _____
Email Address: <u>gmurrayprime@msn.com</u>

OWNER INFORMATION (If different from Applicant)

Owner Name: _____
Address: _____
Phone: _____ Cell: _____ Fax: _____
Email Address: _____

PROPERTY INFORMATION

Address: <u>4 Azalea Drive, Fairburn, GA 30213</u>
Parcel ID#: <u>09F100400531342</u> Land Lot: <u>13</u> District: <u>9</u> Acreage: <u>0.47</u>
Request: _____

CHECK ONE OF THE FOLLOWING REQUESTED VARIANCE TYPES IN SECTION II.

SECTION II VARIANCES REQUIRING PUBLIC HEARING BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL

- 1) **PRIMARY VARIANCE:** Seeks relief from any provision in the Zoning Ordinance that is not being handled as a minor variance or administrative minor variance.
- 2) **SECONDARY VARIANCE:** Seeks relief from variance decisions and interpretations made by the zoning administrator or relief from minor variance or administrative minor variance requests.
- 2) **CONCURRENT VARIANCE:** Seeks relief from any provision in the Zoning Ordinance when filed simultaneously with a rezoning, use permit, or zoning modification request on the same property.

MINOR & ADMINISTRATIVE MINOR VARIANCES
[NO PUBLIC HEARING REQUIRED]

- 1) **MINOR VARIANCE:** Seeks relief from the minimum yard requirements, not to exceed 10% of required setback (example: 35-foot front yard = 3.5-foot variance)
- 2) **ADMINISTRATIVE MINOR VARIANCE:** Relief requiring 1 foot or less from required building setback

VARIANCE CONSIDERATIONS:

1) Relief, if granted, would be in harmony with, or, could be made to be in harmony with, the general purpose and intent of this chapter; or

_____ This variance will allow me to build a suitable home/residence and meet needed requirements, and also add value to
_____ my investment in this property for my retirement needs.

2) The application of the particular provision of this chapter to a particular piece of property, due to extraordinary and exceptional conditions pertaining to that property because of its size, shape, or topography, would create an unnecessary hardship for the owner while causing no detriment to the public; or

_____ Also considering statement 1) above, this variance will allow me to build a suitable home considering the unusual
_____ size, shape, etc.

3) Conditions resulting from existing foliage or structures bring about a hardship whereby a sign meeting minimum letter size, square footage and height requirements cannot be read from an adjoining public road.

SECTION III LEGAL DESCRIPTION OF PROPERTY (Legal description/survey must match submitted site plan.)

SUBDIVISION _____ UNIT/PHASE: _____ LOT NO(S): 13

LAND LOT(S): _____ DISTRICT: _____ TAX ID: 09F100400531342

PROPERTY ADDRESS 4 Azalea Drive, Fairburn, GA 30213

SECTION IV AUTHORITY TO PURSUE VARIANCE

NOTICE: Part 1 and/or Part 2 below must be signed and notarized when the petition is submitted. Please complete Section IV as follows:

- a) If you are the sole owner of the property and not the petitioner complete Part 1.
- b) If you are the petitioner and not the sole owner of the property complete Part 2.
- c) If you are the sole owner and petitioner complete Part 1.
- d) If there are multiple owners each must complete a separate Part 1 and include it in the application.

Part 1. OWNER INFORMATION

Owner states under an oath that he or she is the owner of the property described in the attached legal description. **[EACH OWNER'S SIGNATURE MUST BE NOTARIZED]**

TYPE OR PRINT OWNER'S NAME

Sworn to and subscribed before me this _____ day of

ADDRESS

_____ 20 _____

CITY, STATE & ZIP CODE

NOTARY PUBLIC

OWNER'S SIGNATURE
()

AREA CODE/ PHONE NUMBER

EMAIL ADDRESS

Part 2. APPLICANT INFORMATION

Petitioner states under oath that: (1) he/she is the executor or Attorney-in-fact under a Power-of-Attorney for the owner (attach a copy of the Power-of-Attorney letter and type name above as "Owner"); (2) he/she has an option to purchase said property (attach a copy of the contract and type name of owner above as "Owner"); or (3) he/she has an estate for years which permits the petitioner to apply (attach a copy of lease and type name of owner above as "Owner").

TYPE OR PRINT PETITIONER'S NAME

Sworn to and subscribed before me this the

ADDRESS

_____ Day of _____ 20 _____

CITY & STATE ZIP CODE

NOTARY PUBLIC

PETITIONER'S SIGNATURE

PHONE NUMBER

EMAIL ADDRESS

V. ATTORNEY/AGENT INFORMATION

CHECK ONE: ATTORNEY AGENT

TYPE OR PRINT ATTORNEY/AGENT NAME

ADDRESS

CITY, STATE & ZIP CODE

[]

AREA CODE/PHONE NUMBER

EMAIL ADDRESS

SIGNATURE OF ATTORNEY/AGENT

NEW / PROPOSED SINGLE FAMILY RESIDENCE

(see attached drawings set)



PICTORIAL FRONT VIEW

(pictorial representation only / see actual drawings set)



DATE: 04-07-2025

CLIENT:

GEORGE MURRAY, JR.
P O BOX 354
LILBURN, GA 30047

PROJECT:

(NEW / PROPOSED)
SINGLE FAMILY RESIDENCE
0 AZALEA DRIVE
FAIRBURN, GA 30213

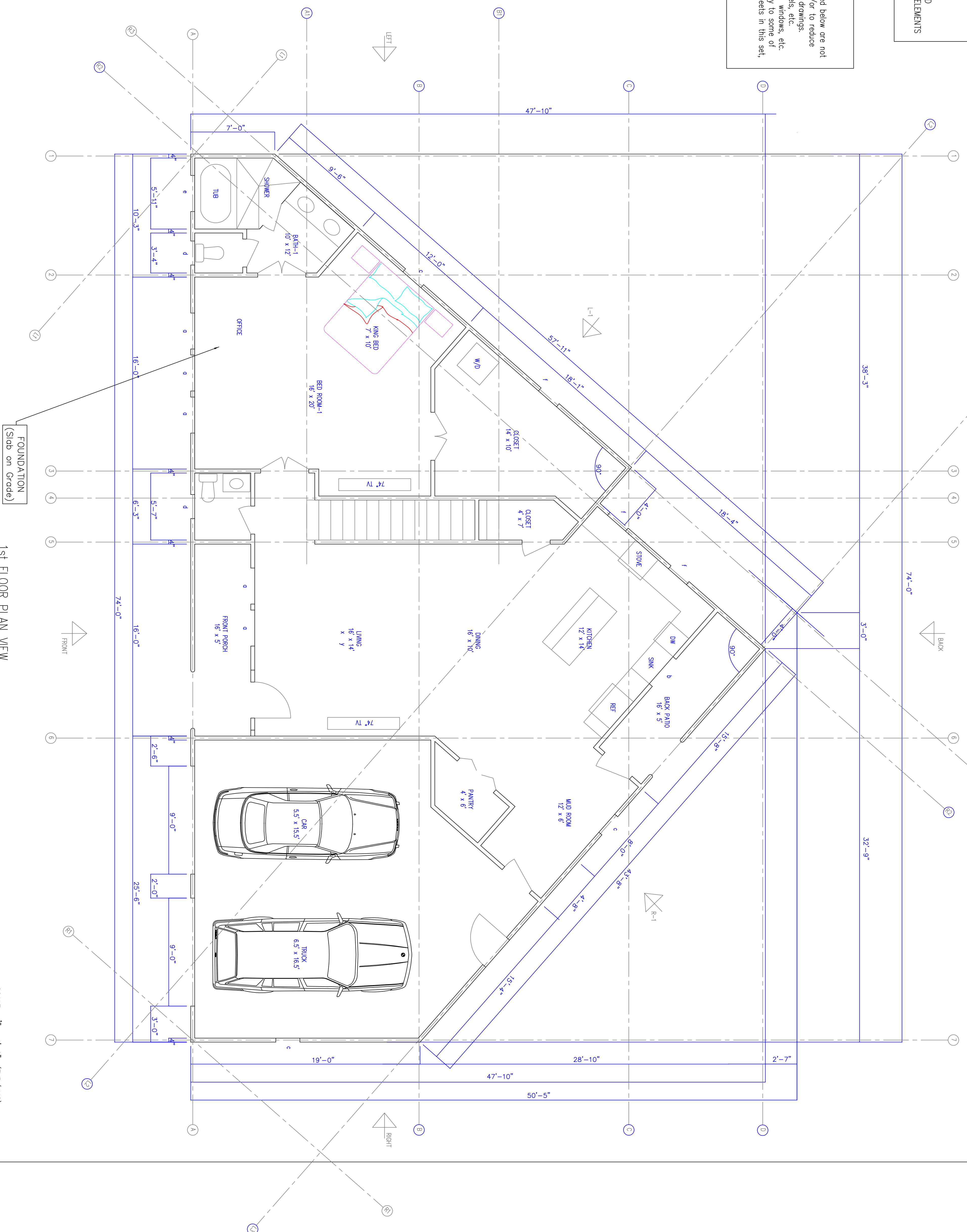
REV	DESCRIPTION	DATE

COVER SHEET
FRONT
ELEVATION

DESIGN BY: G.MURROY, PE
DRAWN BY: GM
CHECKED:
DWS SH: C1.0

NOTE:
SOME VIEWS/IMAGES ARE AS SHOWN FOR CLARITY, AND TO DEPICT SOME FEATURES/ELEMENTS OF THE HOUSE.

NOTE: (as follows)
- some information listed below are not shown for clarity and/or to reduce over crowding on the drawings:
- some dimensions, labels, etc.
- labels on some doors, windows, etc.
- these notes may apply to some of the other drawings sheets in this set, as well.
- etc.



1st FLOOR PLAN VIEW

SCALE: 1/4" = 1'-0" (TYP./UNO)

0 1 2 3 4 8 ft

(1 inch = 4 ft) [Ratio = 1:48]

NOTES & INFO

PRIME+ PrimePlus
Architectural/Civil/Structural/Geotechnical
Residential/Commercial/Utility

PrimePlus Consultants & Associates, P.C. LLC

P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
Email: gmurray@primeplusllc.com WEB: primeplusllc.com
Member, Georgia R. 188



DATE: 04-07-2025

CLIENT:

GEORGE MURRAY, JR.
P O BOX 354
LILBURN, GA 30047

PROJECT:

(NEW / PROPOSED)
SINGLE FAMILY RESIDENCE
0 AZALEA DRIVE
FAIRBURN, GA 30213

REV/ DESCRIPTION	DATE

FLOOR PLAN
1ST FLOOR

DESIGN BY: G.MURRAY, PE
DRAWN BY: GM
CHECKED:
DWG SH#: A4.0
SHEET: 4 OF 7

PrimePlus Copyright (c) 2025
ISSUED FOR PERMIT

Letter of Intent

Home/Residence House/Building

For George Murray, Jr
4 Azalea Drive, FAIRBURN – Parcel ID: 09F100400531342

Request for original 10 ft Building Line Instead of new 15 ft

Date: 04-17-2026

To Whom It May Concern,
(City Planning Department)

I am writing to formally notify you of my intent to build a new residence within the City of Fairburn, Georgia. I respectfully request your consideration for a variance to the building setback line requirement, specifically seeking approval to reduce the setback from the new fifteen (15) feet to the original ten (10) feet for my land/property. This proposed adjustment/variance will allow for optimal utilization of the lot while maintaining adherence to the aesthetic and standards established for the neighborhood.

Also, this variance will allow me to build a suitable home/residence per regulation while adding value to my investment in this property for my retirement needs. This variance request is in consideration of the unusual size, shape, etc., of my land.

Your kind attention to this matter would be greatly appreciated. Should you require any additional documentation or information to support my request, please contact me at your earliest convenience.

Respectfully Submitted,

George Murray, P.E., PMP

P O Box 354, Lilburn, GA 30048
Cell: 770-870-7702
Email: gmurrayprime@msn.com

Return Recorded Document to:
Hallmark, Bowman & Hallmark, LLC
3818 Powder Springs Road
Powder Springs, Georgia 30127-2736
DEED ONLY - NO TITLE

Tax ID#:09F-1004-0053-134-2

LIMITED WARRANTY DEED

STATE OF GEORGIA
COUNTY OF COBB

File #: 06234

This Indenture made this 17th day of December, 2025, between Made Official Solutions, LLC, a Georgia limited liability company, as party or parties of the first part, hereinunder called Grantor, and George E. Murray Jr., as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee:

All that tract or parcel of land lying and being in the City of Fairburn, in Land Lot No. 52 of the 9th District of originally Campbell, Now Fulton County, Georgia, more particularly described as follows: BEGINNING at an iron pin at the intersection of the Northwesterly side of Azalea Drive with the Easterly aide of East Campbellton Street; running thence northwesterly along the easterly side of East Campbellton Street a distance of 39.8 feet to an iron pin; thence northeasterly 175 feet, more or less to the westerly aide of a branch; thence southeasterly along the westerly aide of said branch 181 feet, more or less, to the northwesterly side of Azalea Drive; thence along the northwesterly side of Azalea Drive, and following the curvature thereof, a distance of 209.9 feet, more or less, to the easterly side of East Campbellton Street, the point of beginning. Being Lot No. 13 in Block B Azalea Park Subdivision, according to plat made by Steed & Associates, Surveyors, dated August 1965, recorded in Plat Book 86, Page 23, Fulton County records.

Tax ID#:09F-1004-0053-134-2

This Deed is given subject to all zoning ordinances, easements, covenants, conditions and restrictions of record affecting said bargained premises.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise

appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons claiming by, through or under Grantor.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

Made Official Solutions, LLC

Marguerite Carter

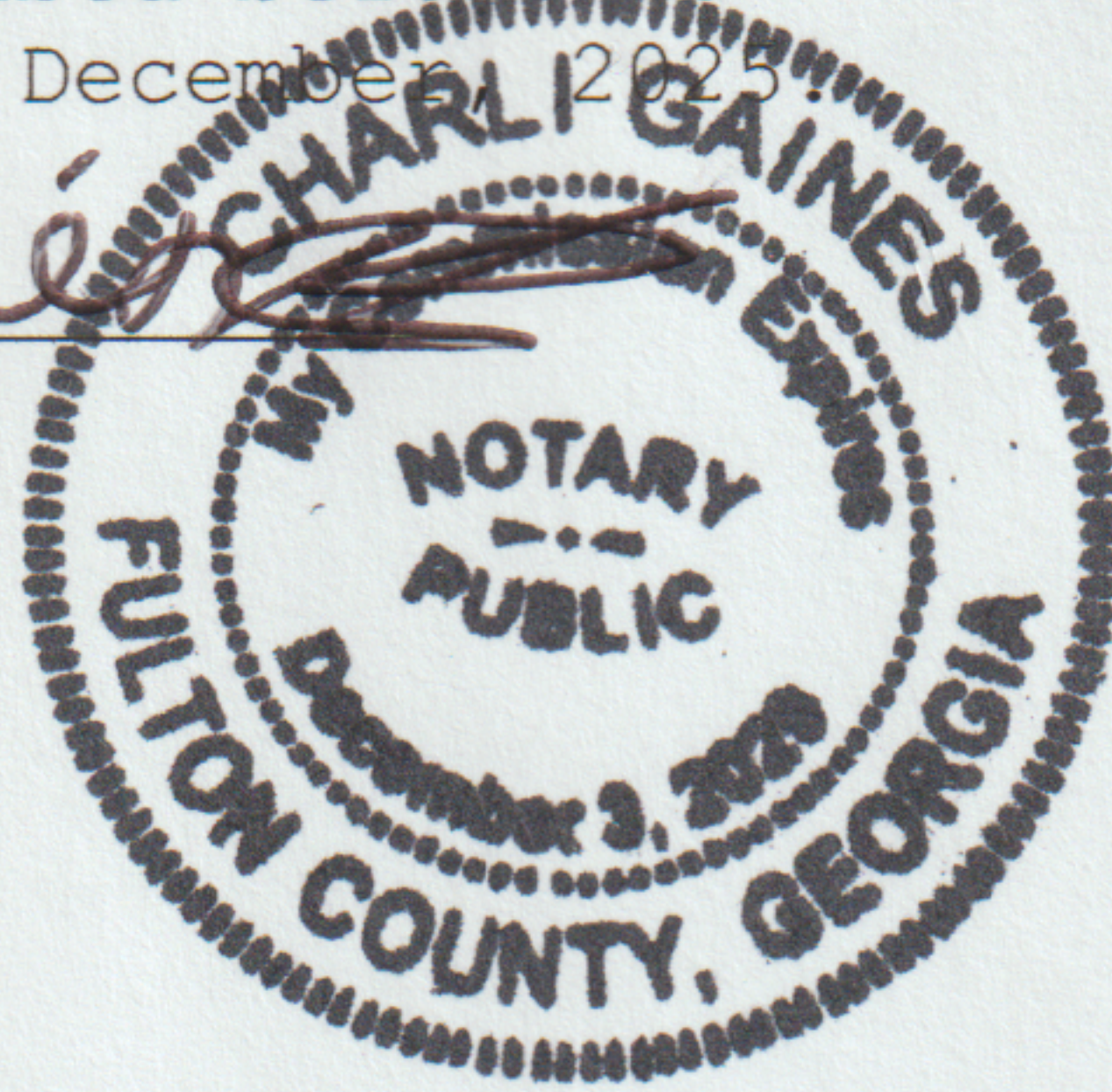
Witness

BY [Signature] (Seal)
George Murray, III Sole Member

Sworn to and subscribed before me
this 17 day of December, 2025

Charli Gaines

Notary Public





FAIRBURN CITY HALL
56 MALONE ST
FAIRBURN, GA 30213
(770)964-2244
Fax (770)306-6919

Permit # _____

Date: _____

SITE DEVELOPMENT PERMIT APPLICATION

This is not a permit, and no work will be started until the permit is issued.

Application is hereby made according to the laws and ordinances of the City of Fairburn for a permit to conduct land development activities as described herein and as shown on accompanying plan, and if same is issued, applicant agrees to conform to all laws and ordinances regarding same.

Job Location 0 Azalea Drive, Fairburn, GA 30213 Subdivision _____ Lot # 52
Property Owner: George Murray, Jr. Zoning Classification _____

Width of Lot:	200 ft	Width of Building:	47 ft
Depth of Lot:	100 ft	Length of Building:	74 ft
Type of Sewage:	Public Sewage	Total Floor Area:	3200 sq ft
Front Yard Set-Back	50 ft	Side Yard Set-Back	10 ft
Back Yard Set-Back	35 ft	Total Acres	0.471 acres

General Contractor: George Murray, P.E., PMP License #: GA P.E. Lic # 027242
Address: P O Box 354, Lilburn, GA 30048
Phone Number 770-870-7702 Cell #: 770-870-7702

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 3 MONTHS AT ANY TIME AFTER WORK IS STARTED.

THE FOLLOWING DOCUMENTS MUST BE SUBMITTED ALONG WITH THIS APPLICATION:

1. A site plan drawn at a scale of 1"=20', which accurately shows the lot itself, the location of the house on the lot, the driveway and any other site improvements, easements, watershed protection areas, and setback lines;
2. A grading plan drawn at a scale of 1"=20' (this may be combined with the site plan) with accurate existing contours and proposed new contours at an interval of no more than two (2) feet;
3. A watershed protection and erosion control plan drawn at a scale of 1"=20' (this plan may be combined with the site plan and/or the grading plan). This plan must be prepared in accordance with the requirements of the City's Soil Erosion and Sediment Control Ordinance and the State of Georgia Manual for Erosion and Sediment Control; and

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing work performed under this permit will be complied with whether specified herein or not. The granting of a Site Development Permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of related requirements.

George Murray, Jr

CONTRACTOR/OWNER SIGNATURE: Digitally Signed DATE 10/04/2025

Site Development Plan Approval _____ Date _____ Reviewed for Code Compliance
03/30/2026
brianepstein

Submittal #	Submittal #	Submittal #	Submittal #
Site Inspection Fee	\$1800.00	Site Plan Review Fee	\$150.00
Additional Review Fee (\$150.00 per each additional submittal)	\$	Erosion Site Plan Review	\$300
Total Amount Due		\$	



FAIRBURN CITY HALL
56 MALONE ST
FAIRBURN, GA 30213
(770)964-2244
Fax (770)306-6919

Permit # _____
Date: _____

Residential Building Permit Application

This is not a permit, and no work will be started until the permit is issued.

Application is hereby made according to the laws and ordinances of the City of Fairburn for a permit to erect/alter and use a structure as described herein or shown on accompanying plan and specification, to be located as shown on accompanying plot plan and if same is granted, agree to conform to all laws and ordinances regarding same.

Property Owner: George Murray, Jr. Job Location Address: 0 Azalea Drive, Fairburn, GA 30213
 Subdivision _____ Lot # 52 Zoning District _____
 General Contractor: George Murray, P.E., PMP GA Lic #: GA P.E. Lic # 027242
 Address: P O Box 354, Lilburn, GA 30048
 Phone Number 770-870-7702 Cell #: 770-870-7702 Fax #: N/A

Width of Lot:		200 ft	Heated Floor Area:		3,200 sq ft
Lot Size (sq. ft.)		20,554 sq ft	Total Floor Area:		2,200 sq ft (house footprint)
Front Yard Set-Back	50 ft	Side Yard Set-Back	10 ft	Rear Yard Set-Back	35 ft
Exterior Walls (circle)		<input checked="" type="radio"/> Combination Wood Stucco Stone Masonry Brick <input checked="" type="radio"/> Hardiplank Vinyl			
Circle One		<input checked="" type="radio"/> Sewage		<input type="radio"/> Septic	
Type/Style of house plans submitted: <u>New / Proposed 2-Story Single Family Residence-SFR</u>					
Estimated Construction Cost: \$ 240,000.00 458,200					

Description of Work:

Construction of New / Proposed 2-Story Single Family Residence-SFR w/ slab on grade foundation.

Subcontractors:

Electrical	PENDING CONSTRUCTION CONTRACT	Phone:	PENDING
Plumbing	PENDING CONSTRUCTION CONTRACT	Phone:	PENDING
HVAC	PENDING CONSTRUCTION CONTRACT	Phone:	PENDING

NOTE: All Sub-Contractors Must Be State Licensed And Must Permit Each Job Personally. Proof of license is required.

USE OF SUBS OTHER THAN LISTED IN CONJUNCTION WITH THIS PERMIT REQUIRES FORMAL AMENDMENT OF THE PERMIT AND PRIOR APPROVAL OF THE CITY. FAILURE TO SECURE MAY RESULT IN STOP-WORK ORDER, FINE AND/OR OTHER MEASURES, INCLUDING REVOCATION OF PERMIT AND/OR PROBATIONARY PERIOD PRIOR TO APPROVAL OF SUBSEQUENT PERMITS FOR BOTH THE CONTRACTOR AND UNAUTHORIZED SUB-CONTRACTOR.

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 3 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing work performed under this permit will be complied with whether specified herein or not. The granting of a Building Permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of related requirements.

CONTRACTOR/OWNER SIGNATURE: George Murray, Jr DATE 10/04/2025
Digitally Signed

Plan Approval _____ Permit Approval _____ Date 03/30/2026

Reviewed for Code
Compliance
03/30/2026
brianepstein

Temporary Pole	\$	Permanent Electric	\$
Utility Deposit	\$	Water Tap	\$
	Plan Review	\$	Permit Fee
\$		\$	

TOTAL AMOUNT PAID

DATE SUBMITTED TO UTILITY COMPANY

Electric Meter #	Reading	Demand
Water Meter #	Reading	Read By:

NEW PROPOSED 2 STORY SINGLE FAMILY RESIDENCE FOR: GEORGE MURRAY JR. 0 AZALEA DRIVE LOT 13 AZEA PARK SUBD. PARCEL ID: 14 017500070078 FAIRBURN GA. 30213 LAND LOT: 52 9TH DISTRICT FULTON COUNTY, GEORGIA

DATE: SEPTEMBER 21, 2025

NOTE: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel, or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee.

03/30/2026

Reviewed for Code Compliance
03/30/2026
brianepstein

The permittee shall ensure that all required trees are installed in full compliance with applicable City ordinances and the approved site development plans. Tree species, quantities, sizes, and placement shall conform to the requirements set forth in the governing regulations. All plantings must be completed prior to final inspection or as otherwise authorized by the City, and shall be maintained in a healthy, viable condition. Final approval is subject to verification and acceptance by the assigned development inspector.

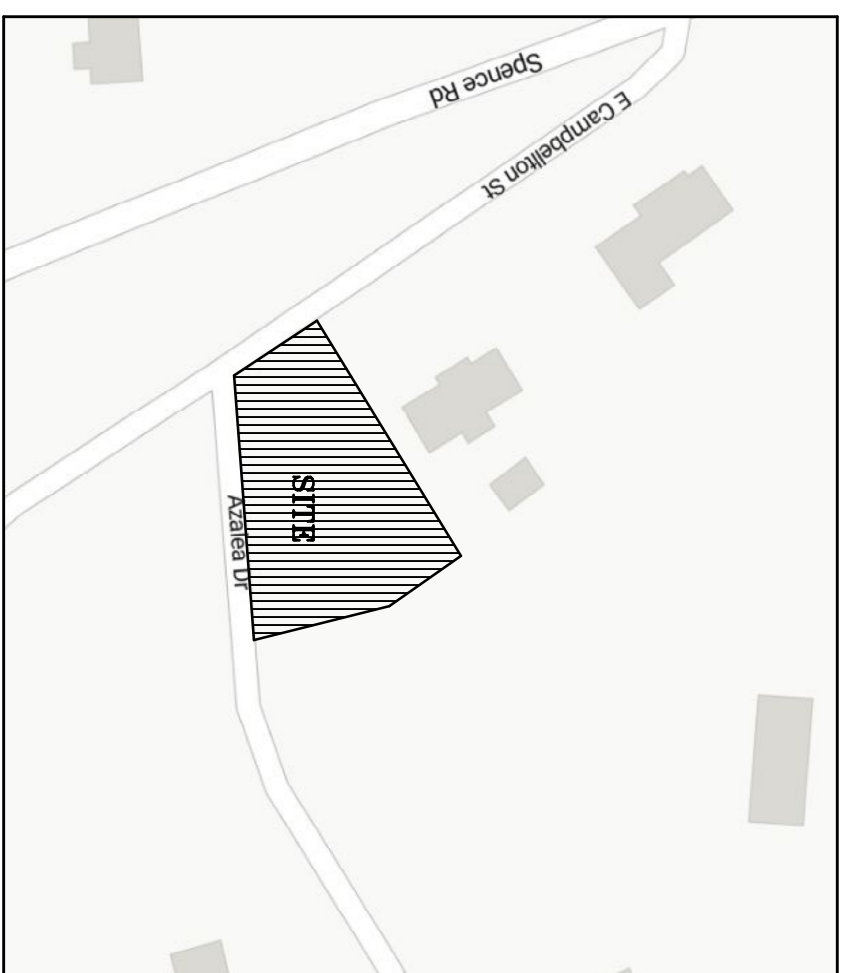
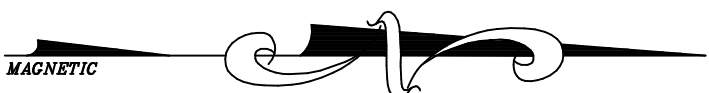
FLOOD STATEMENT
NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY FEMA OFFICIAL FLOOD HAZARD MAP PANEL # 1312100462F DATE 9/18/2013

CURVE TABLE			
CURVE	LENGTH	RADIUS	BEARING
G1	110.7	444.73	S87°00'24"W
			110.78

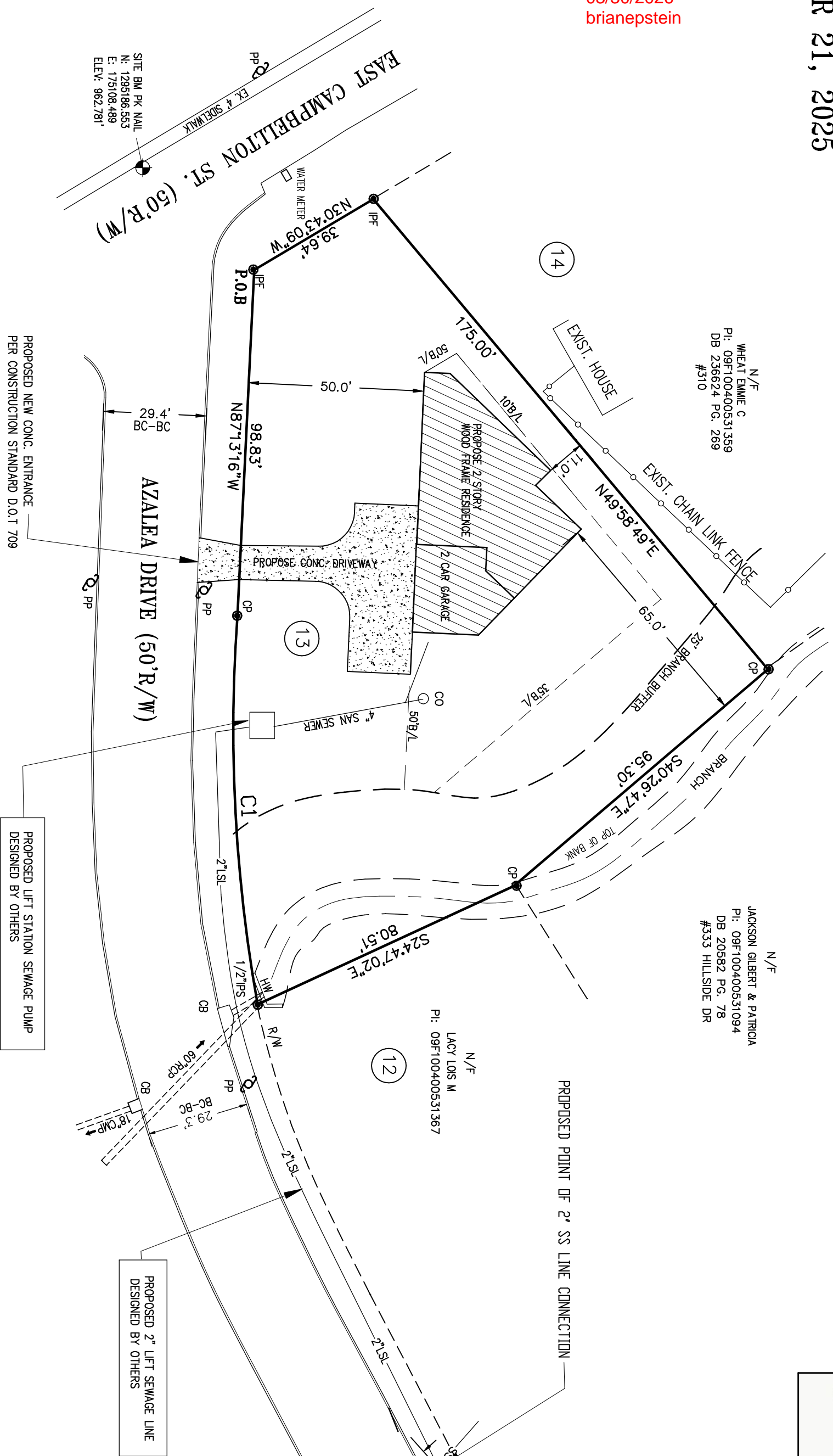
"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES AND CONSTRUCTION OF PERMANENT AND TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION."

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES TO CONTROL OR TREAT THE SEDIMENT SOURCE."

Before starting any land-disturbing activities, the contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control. Failure to schedule may result in a Stop Work Order or Permit Revocation



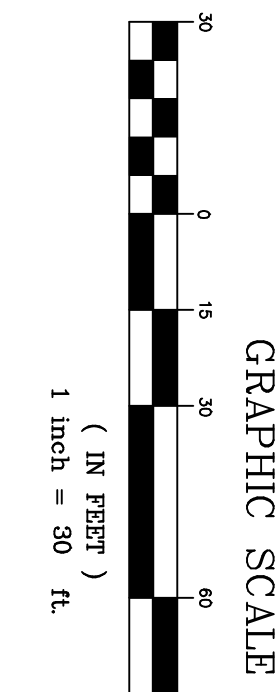
VICINITY MAP
N.T.S.



LEGEND

	PROPOSED NEW CONSTRUCTION
	EXISTING TOPOGRAPHIC CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED SPOT ELEVATIONS
	CONST. EXIT/ENTRANCE
	DISTURBED AREA STABILIZATION (WITH MULCH)
	DISTURBED AREA STABILIZATION (W/ TEMPORARY VEGETATION)
	DISTURBED AREA STABILIZATION

	P.O.B. POINT OF BEGINNING
	P.O.R. POINT OF REFERENCE
	I.P.S. 1/2" IRON PIN SET
	O.H.P. OVERHEAD POWER LINE
	P.P. POWER POLE
	L.L.L. LAND LOT LINE
	I.P.F. 1/2" IRON PIN FOUND
	C.L. CENTER LINE
	W.M. WATER METER
	G.M. GAS METER
	C.U.V. CURB VALVE



GSWCC
GEORGIA SOIL AND WATER CONSERVATION COMMISSION
WALTER PRINCE
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION NUMBER 00000000148
ISSUED: 06/03/2008
EXPIRES: 06/03/2026

SITE DATA

LOT AREA 20,554 sq.ft.
0.471 acres

ZONED R-1

FRONT SETBACK --- 50 FEET
SIDE SETBACK --- 10 FEET
REAR SETBACK --- 35 FEET

PROPOSED LOT COVERAGE IMPERVIOUS SURFACE:

NEW HOUSE --- 2,239 SQ.FT.
NEW CONC. DRIVEWAY --- 1,231 SQ.FT.
TOTAL LOT COVERAGE --- 3,470 SQ.FT.
3,470 SQ.FT. / 20,554 = 17%

SHEET INDEX

1. SITE PLAN
2. GRADING AND SOIL EROSION PLAN

PROJECT ADDRESS AZALEA DR. FAIRBURN GA. 30213 PARCEL ID 09F100400531342	24 HOUR CONTACT/DEVELOPER GEORGE MURRY JR. CELL (770) 870-7702 HURD PRINCE & ASSOCIATES, INC. *Consulting Planners & Surveyors* 110 MLK SR. HERITAGE TRAIL Stockbridge, Georgia 30281-3424 OFFICE: (678) 593-5450 CELL:(404) 372-7304	 9/21/25
LAND LOT: 52 DISTRICT: 9 TH DISTRICT COUNTY: FULTON STATE: GEORGIA		

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:	REVISIONS
--	-----------

SHEET TITLE: SITE PLAN 2 STORY RESIDENCE	DATE: SEPTEMBER 21, 2025
DRAWN: W.A.	CHECKED: F.P.
JOB: 27727	SHEET NUMBER: 1
SHEET 1 OF 2	

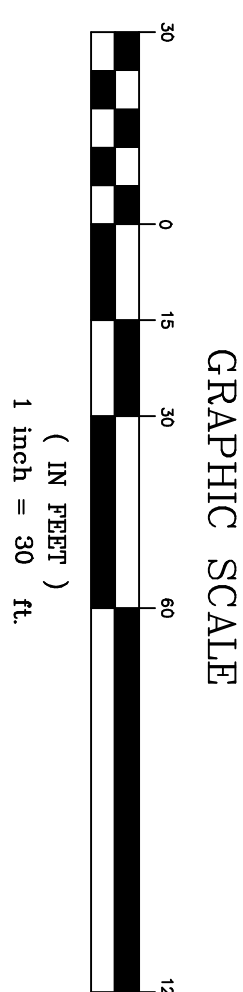
ISSUED FOR CONSTRUCTION

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (WITH MULCH ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)		Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (WITH SOODING)		Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DIRT CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dirt on construction sites, roadways and similar sites.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES."
 "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. THE MAINTENANCE OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	111.07	444.75	S87°00'24"V	110.78



FLOOD STATEMENT

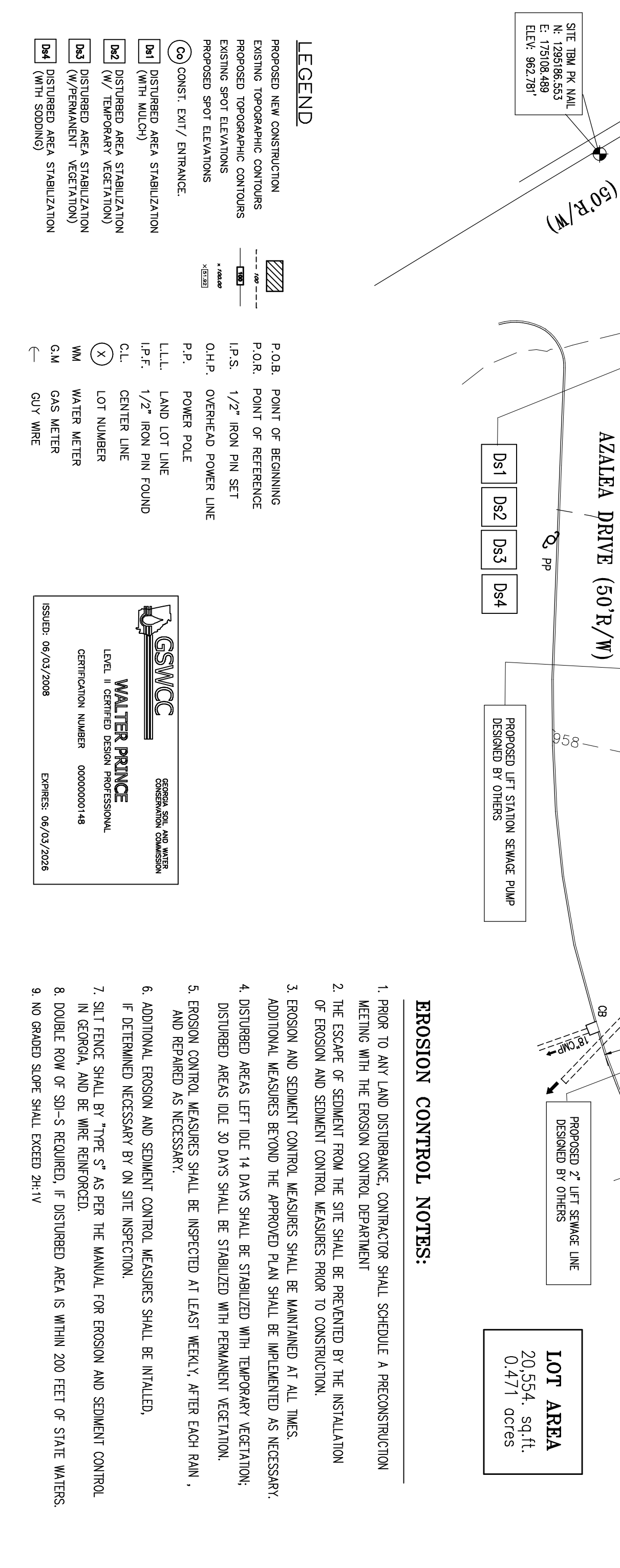
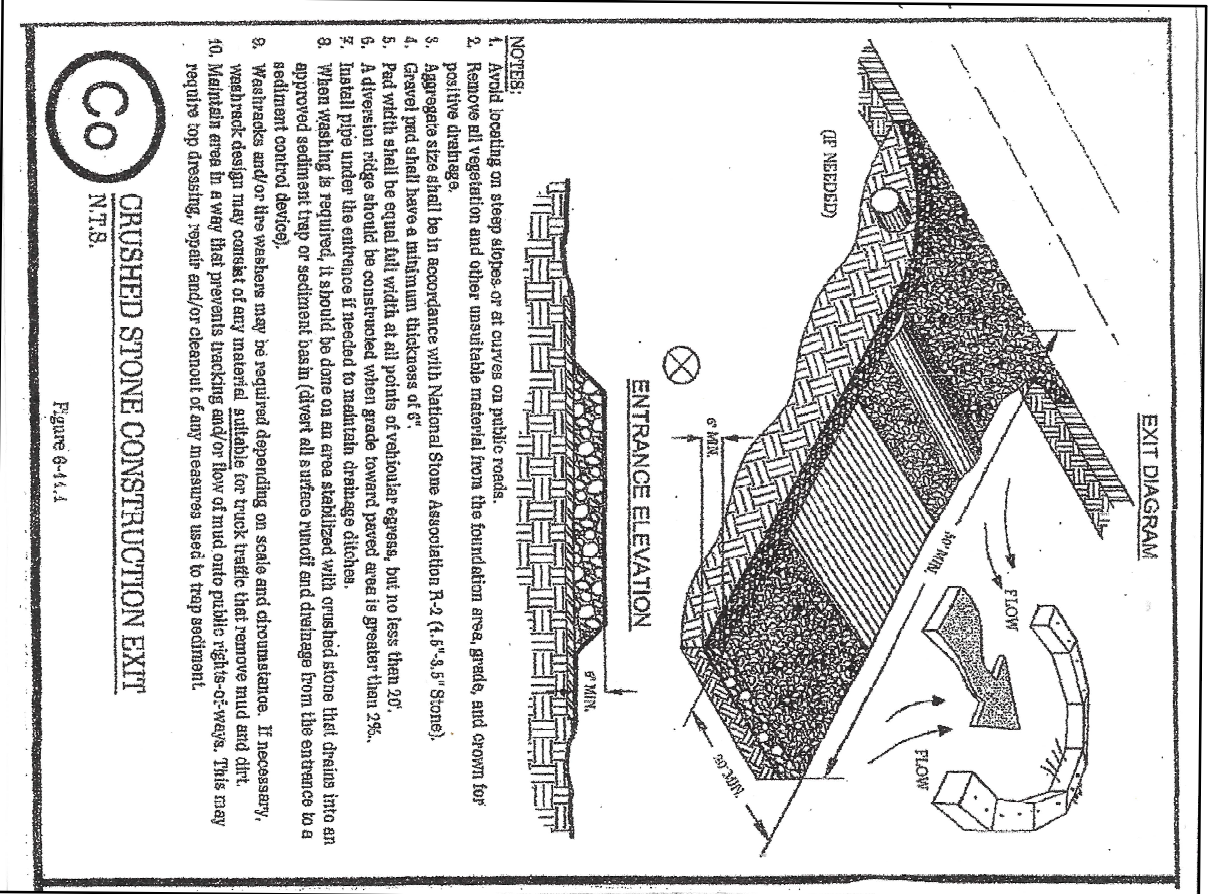
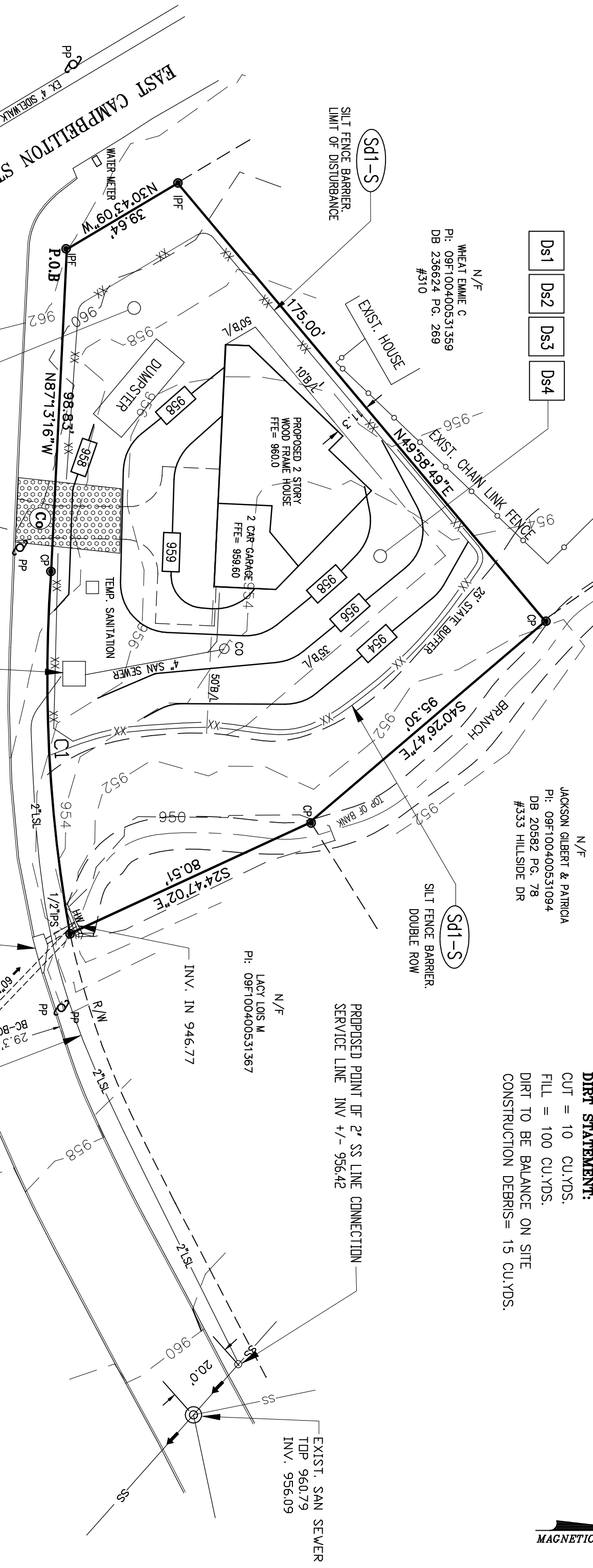
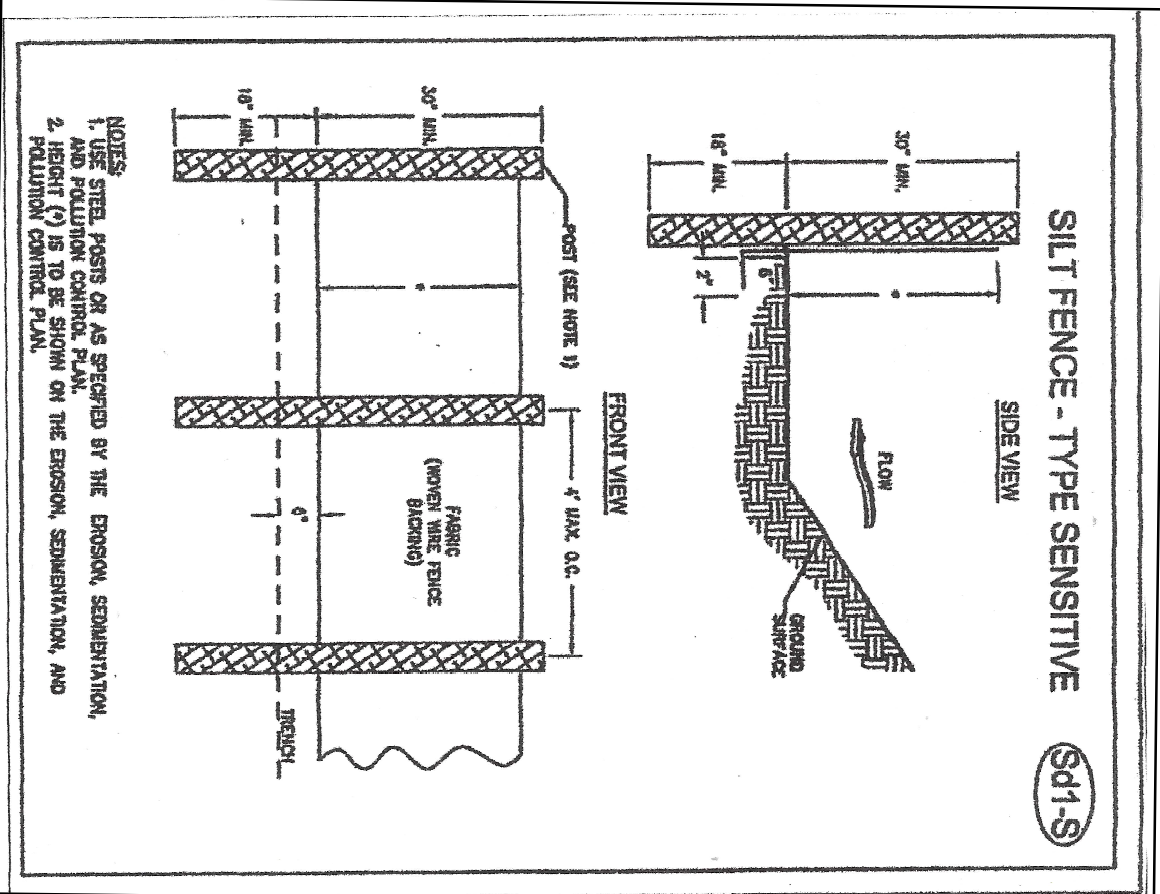
NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 1312100462F DATE: 9/18/2013

INSTRUMENT USED:

GEOMAX 200M 90 ROBOTIC TOTAL STATION
 13,400 SQ/FT 0.31 AC.

DIRT STATEMENT:

CUT = 10 CU.YDS.
 FILL = 100 CU.YDS.
 DIRT TO BE BALANCE ON SITE
 CONSTRUCTION DEBRIS = 15 CU.YDS.



EROSION CONTROL NOTES:

- PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS NECESSARY. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY.
- DISTURBED AREAS LEFT IDE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DETERMINED NECESSARY BY ON SITE INSPECTION.
- SILT FENCE SHALL BY "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.
- DOUBLE ROW OF SD-S REQUIRED, IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS.
- NO GRADED SLOPE SHALL EXCEED 2H:1V

PROJECT ADDRESS 0 AZALEA DRIVE FAIRBURN GA. 30213 PARCEL ID 09F100400531342	24 HOUR CONTACT/DEVELOPER GEORGE MURRY JR. CELL (770) 870-7702 HURD PRINCE & ASSOCIATES, INC. *Consulting Planners & Surveyors* 110 MLK SR. HERITAGE TRAIL Stockbridge, Georgia 30281-3424 OFFICE: (678) 593-5450 CELL:(404) 372-7304		IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:
ZONING: R-1 FRONT YARD SETBACK = 50 FEET SIDE YARD SETBACK = 10 FEET REAR YARD SETBACK = 35 FEET	SHEET TITLE: GRADING & SOIL EROSION PLAN	DATE: SEPTEMBER 21, 2025 JOB: 27727 DRAWN: W.A.	REVISIONS
CHECKED: F.P. SHEET NUMBER: 2	ISSUED FOR CONSTRUCTION	SHEET 2 OF 2	

NOTE: Every effort has been made to identify code violations. Any oversight by the reviewer shall not be considered as authority to violate, set aside, cancel, or alter applicable codes or ordinances. The plan review and permit issuance shall not be considered a warranty or guarantee.
03/30/2026

NOTE: The building thermal envelope, systems and electrical power and lighting systems shall comply with the International Energy Conservation Code and the State of Georgia amendments. Duct tests and blower door tests shall be conducted and a compliance report furnished.

Note: Construction shall meet all ordinances as adopted by the City and the Georgia DCA. It is the responsibility of the builder to verify requirements and compliance. Additionally, provide egress windows, garage separation, tempered glass, thermal compliance, smoke/CO detectors and GFCI's as required by the International Residential Code and the National Electrical Code with the Georgia Amendments. All engineered lumber shall comply with the manufacturer's span, loading and installation requirements. Construction outside the prescriptive requirements of the Codes may require a design or an evaluation by a Georgia registered engineer.

NOTE:
Each bedroom, basement and habitable attic shall be provided with an emergency escape opening having a minimum 57 sq. ft. net clear opening and a minimum sill height of 44" above the finished grade with a minimum sill height of 44" above the finished grade shall have 5.0 sq. ft. minimum net clear opening.

Reviewed for Code
Compliance
03/30/2026
brianeppstein



NEW / PROPOSED SINGLE FAMILY RESIDENCE

(see attached drawings set)

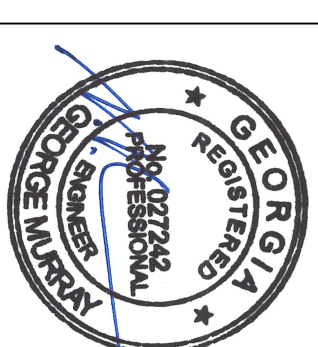
PICTORIAL FRONT VIEW

(pictorial representation only / see actual drawings set)

PRIME+ PrimePlus
Architectural/Civil/Structural/Geotechnical
Residential/Commercial/Utility

PrimePlus Consultants & Associates, P.C. LLC

P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
Email: gmurray@primeplusllc.com WEB: primeplusllc.com
Member, Georgia E. 188



DATE: 04-07-2025

CLIENT:
GEORGE MURRAY, JR.
P O BOX 354
LILBURN, GA 30047

PROJECT:
(NEW / PROPOSED)
SINGLE FAMILY RESIDENCE
0 AZALEA DRIVE
FAIRBURN, GA 30213

REV	DESCRIPTION	DATE

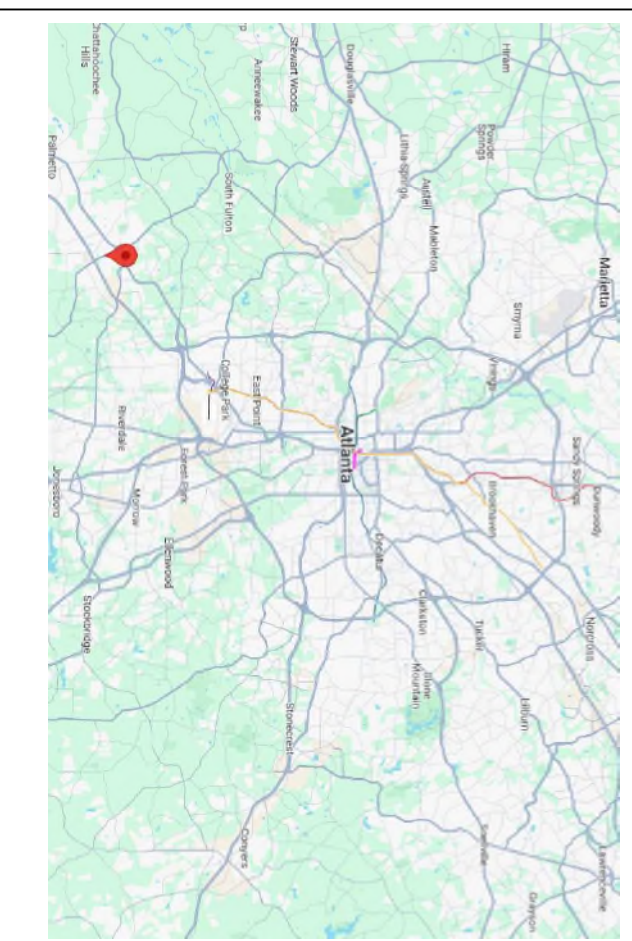
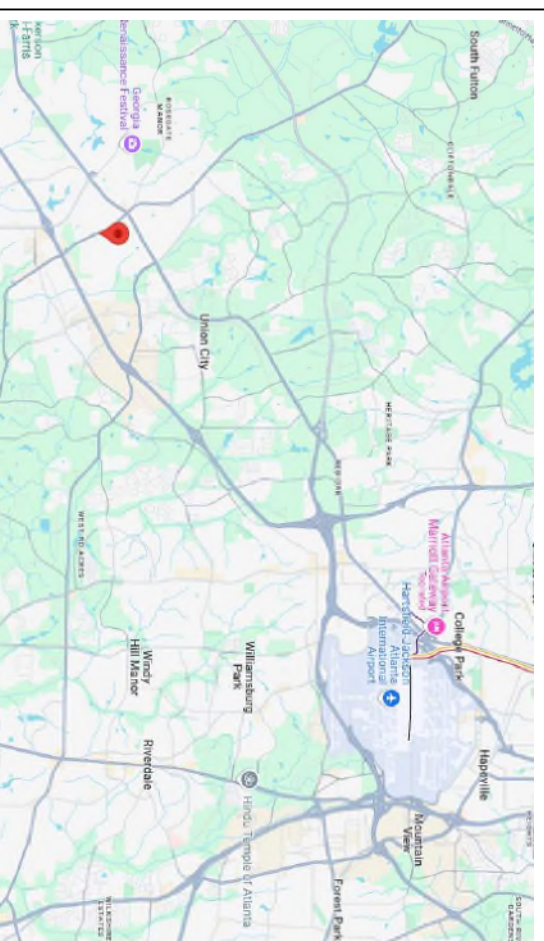
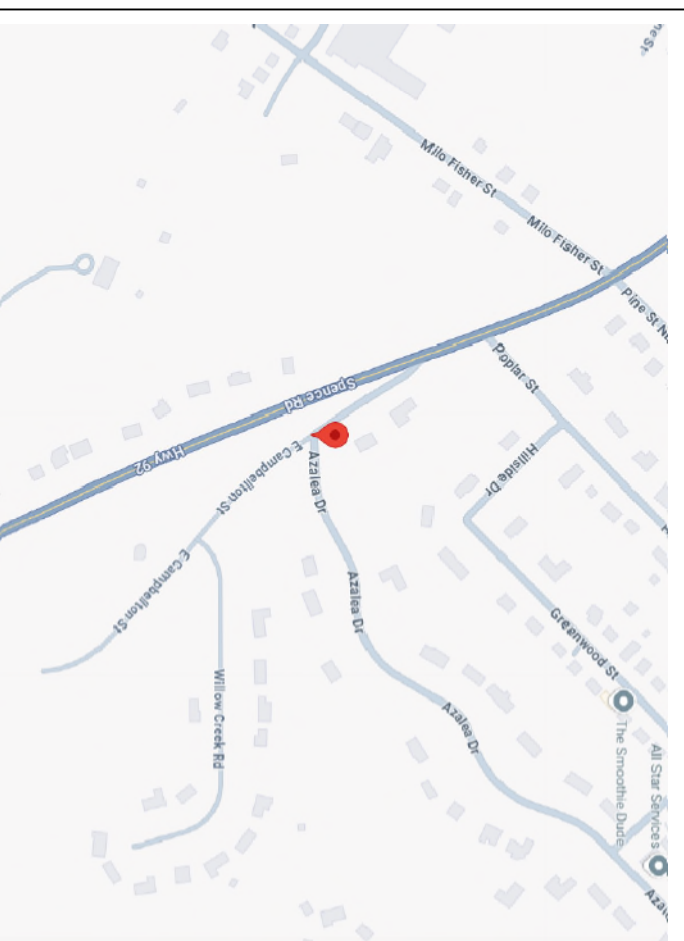
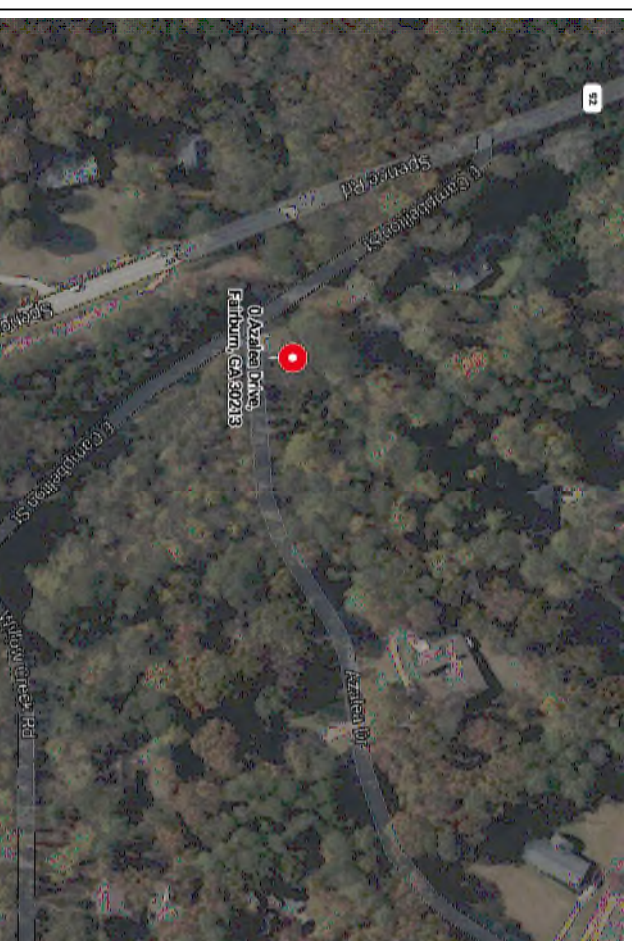
COVER SHEET
FRONT
ELEVATION

DESIGN BY: G.MURROY, PE
DRAWN BY: GM
CHECKED:
DWS SH: C1.0

PrimePlus Copyright (c) 2025
ISSUED FOR PERMIT

SHEET: 1 OF 1

PROJECT LOCATION



NOTE:
SOME NOTES ON SOME OF THE OTHER DRAWINGS IN THIS DRAWINGS SET MAY APPLY TO THIS DRAWING SHEET, AS WELL. (SEE NOTES ON OTHER SHEETS)

NOTES & INFO

Scope of Work:
New/Proposed Single Family Residence. SF = 3240 sq-ft.
Construction from ground up. Information required for the permit application is located within this Drawings Set. Details of the request are presented here for your approval.

Square Footage Breakdown:
Proposed:
- 2nd Floor Heated Area = 1833 sq-ft.
- 1st Floor Heated Area = 1407 sq-ft.
- Garage = 600 sq-ft.
Total:
- Heated Area = 3240 sq-ft.
- Unheated Area = 740 sq-ft.

Project Code Compliance:
- International Building Code, 2018 Edition w/ Georgia Amendments 2020.
- International Residential Code, 2018 Edition w/ Georgia Amendments 2020.
- International Mechanical Code, 2018 Edition w/ Georgia Amendments 2020.
- International Electrical Code, 2018 Edition w/ no Georgia Amendments.
- International Plumbing Code, 2018 Edition w/ Georgia Amendments 2020.
- International Fire Code, 2018 Edition w/ no Georgia Amendments.
- International Swimming Pool Code, 2018 Edition w/ Georgia Amendments 2020.

Design Criteria:
- Floor: LL 40 psf / DL 15 psf;
- Ceiling/Roof: LL 20 psf / DL 10 psf.
- Ground Snow Load: 5 psf.
- Basic Wind Velocity: 115 mph.
- Wind Exposure: C
- Seismic Design Category: B

List of Drawings:
- Sheet 1: Cover Sheet & Elevations
- Sheet 2: Land Survey/Site Plan
- Sheet 3: Architectural Site Plan
- Sheet 4: 1st Floor
- Sheet 5: 2nd Floor
- Sheet 6: Roof Layout Plan
- Sheet 7: Elevations

CLIENT:

GEORGE MURRAY, JR.
P O BOX 354
LILBURN, GA 30047

PROJECT:

(NEW / PROPOSED)
SINGLE FAMILY RESIDENCE
0 AZALEA DRIVE
FAIRBURN, GA 30213

REV	DESCRIPTION	DATE

COVER SHEET

FRONT / BACK ELEVATIONS

DESIGN BY: G.MURRAY, PE
DRAWN BY: GM
CHECKED:
DWG SH#: A1.0

PRIMEPLUS Copyright (c) 2025
ISSUED FOR PERMIT
SHEET: 1 OF 7



DATE: 04-07-2025



BACK ELEVATION
(X-RAY / MIRROR IMAGE VIEW)

SCALE: 1/4" = 1'-0" (TYP./UNO)
0 1 2 3 4 8 ft
(1 inch = 4 ft) [Ratio = 1:48]

PRIME PrimePlus
 Architectural/Civil/Structural/Geotechnical
 Residential/Commercial/Utility

PrimePlus Consultants & Associates, P.C. LLC

P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
 Email: gmurray@primeplusllc.com WEB: primeplusllc.com
 Member, Georgia E 200



DATE: 04-07-2025

SEE SURVEY / SITE PLAN



CLIENT:

GEORGE MURRAY, JR.
P O BOX 354
LILBURN, GA 30047

PROJECT:

(NEW / PROPOSED)
SINGLE FAMILY RESIDENCE
0 AZALEA DRIVE
FAIRBURN, GA 30213

REV | DESCRIPTION | DATE

REV	DESCRIPTION	DATE

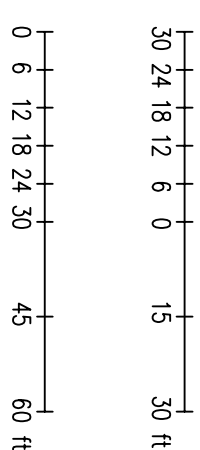
LAND SURVEY

DESIGN BY: G.MURRAY, PE
DRAWN BY: GM
CHECKED:

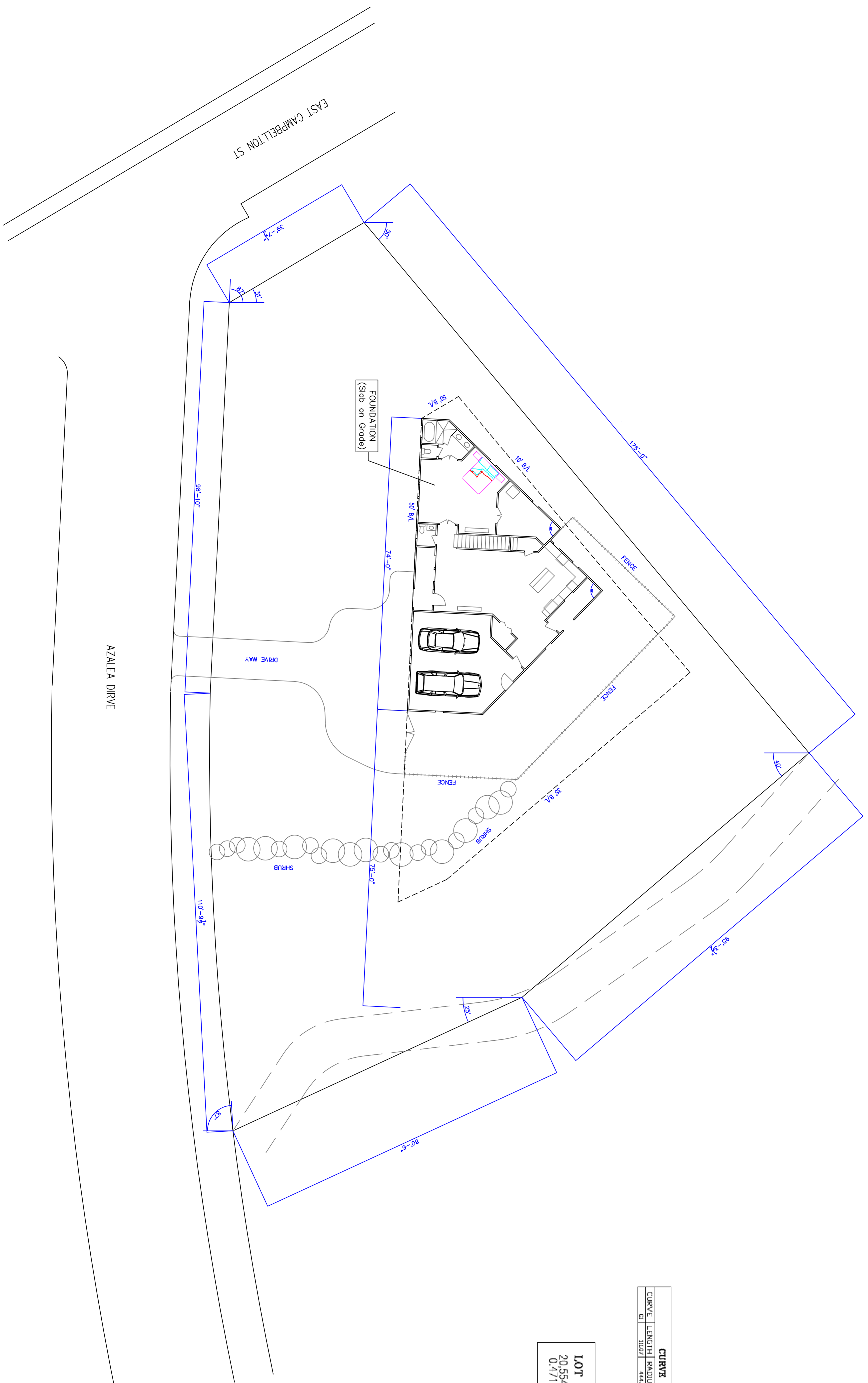
DWG SH: A2.0

SHEET: 2 OF 7

(1 inch = 30 ft) [Ratio = 1:300]



- LEGEND**
- POB: POINT OF BEGINNING
 - POA: POINT OF ADJACENCY
 - POC: POINT OF COMMENCEMENT
 - P.P.: POWER POLE
 - L.L.: LAND LOT LINE
 - L.P.S.: 1/2" IRON PIN FOUND
 - OFF: OPEN TOP FOUND
 - T.L.P.: TRAFFIC LIGHT POLE
 - U: UTILITY
 - W.M.: WATER METER
 - E/W: ELEC. WIRE BOX
 - E/B: ELECTRICAL BOX
 - C/B: CABLE BOX
 - C/M: GAS METER
 - C/T: CRIMP TOP FOUND
 - T/P: TRAFFIC LIGHT POLE
 - A/I: ANGLE IRON FOUND
 - CF: CORNER FOUND



ARCHITECTURAL SITE PLAN

NOTE: (as follows)

- some information listed below are not shown for clarity and/or to reduce over crowding on the drawings.
- some dimensions, labels, etc.
- labels on some doors, windows, etc.
- these notes may apply to some of the other drawings sheets in this set, as well.
- etc.

NOTE:
SOME VIEWS/IMAGES ARE AS SHOWN FOR CLARITY, AND TO DEPICT SOME FEATURES/ELEMENTS OF THE HOUSE, YARD, LAND, ETC.

CURVE TABLE

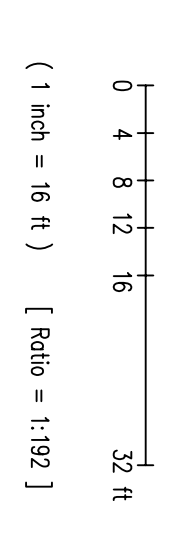
CURVE #	LENGTH	RADIUS	BEARING	CHORD
1	111.07'	444.73'	S87°25'24"W	111.74'
2	111.07'	444.73'	S87°25'24"W	111.74'

LOT AREA
20,554 sq.ft.
0.4711 acres

BOUNDARY SURVEY FOR
GEORGE MURRAY

AZALEA DR.
FAIRBURN GA, 30213
PT. 09-10040031342
LL 52 9TH DISTRICT B
BEING LOT 13 BLOCK B
AZALEA PARK
FULTON COUNTY GEORGIA
DATE SURVEY PLAT 4/01/23

SCALE: 1/8" = 1'-0" (TYP./LINO)



PRIME+ PrimePlus
Architectural/Civil/Structural/Geotechnical
Residential/Commercial/Utility

PrimePlus Consultants & Associates, P.C. LLC

P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
Email: gmurray@primeplusllc.com WEB: primeplusllc.com
Member, Georgia E. 188

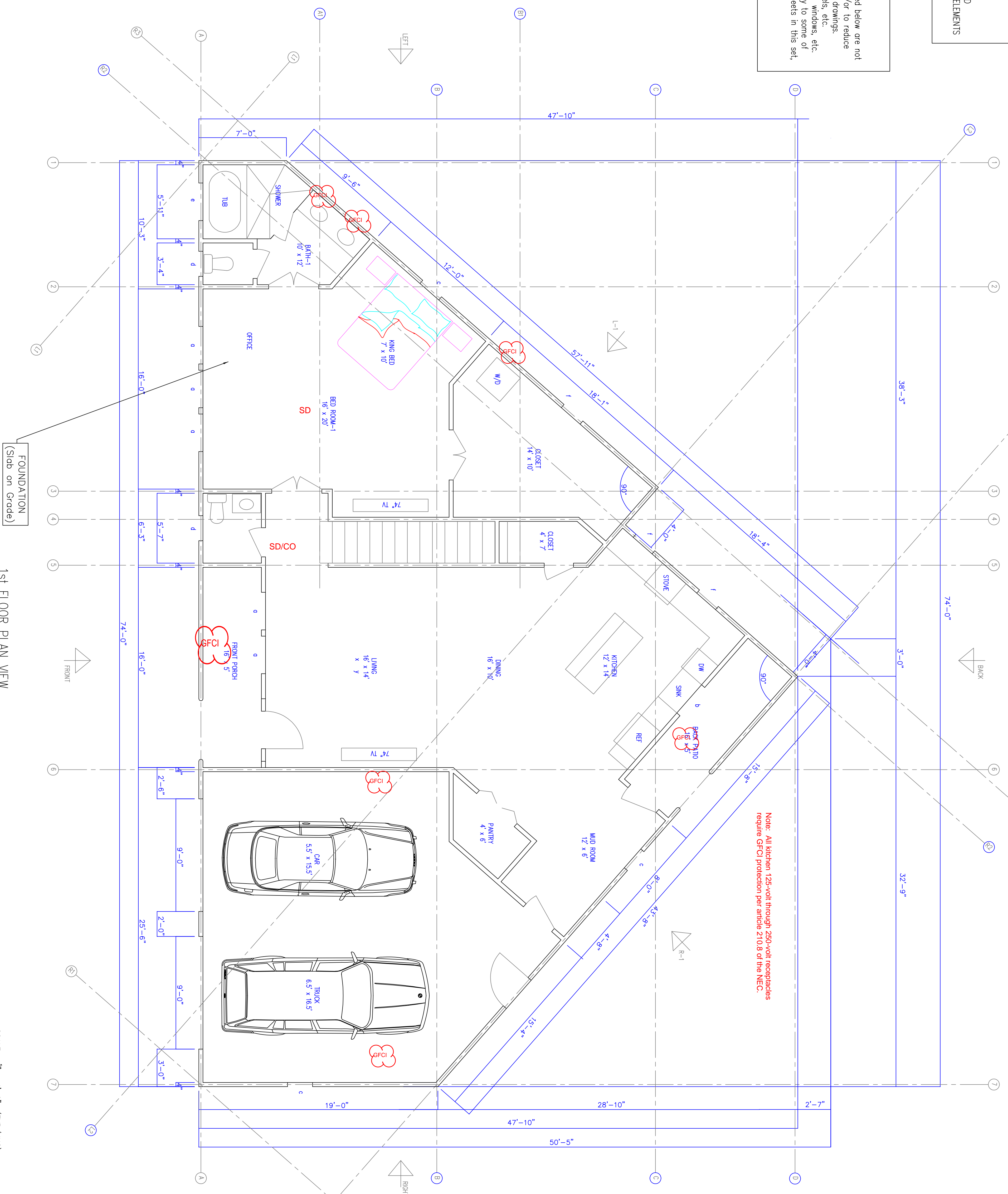


DATE: 04-07-2025

CLIENT:	GEORGE MURRAY, JR. P O BOX 354 LILBURN, GA 30047
PROJECT:	(NEW / PROPOSED) SINGLE FAMILY RESIDENCE 0 AZALEA DRIVE FAIRBURN, GA 30213
REVISIONS:	REV. DESCRIPTION DATE
DESIGN BY:	G.MURRAY, PE
DRAWN BY:	GM
CHECKED:	
DWG. SH.:	A3.0
SHEET:	3 OF 7

NOTE:
SOME VIEWS/IMAGES ARE
AS SHOWN FOR CLARITY, AND
TO DEPICT SOME FEATURES/ELEMENTS
OF THE HOUSE.

NOTE: (as follows)
- some information listed below are not
shown for clarity and/or to reduce
over crowding on the drawings;
- some dimensions, labels, etc.
- labels on some doors, windows, etc.
- these notes may apply to some of
the other drawings sheets in this set,
as well.
- etc.



Note: All kitchen 125-volt through 250-volt receptacles
require GFCI protection per article 210.8 of the NEC.

1st FLOOR PLAN VIEW

SCALE: 1/4" = 1'-0" (TYP/UNO)

(1 inch = 4 ft) [Ratio = 1:48]

NOTES & INFO

CONCRETE:
Per IRC R403.1.4 & R404.1.6. Foundations must extend at least 4" above
finish grade where masonry veneer is used and a minimum of 6" elsewhere.
All footings shall extend at least 12" below undisturbed ground surface and
shall have a minimum width and reinforcement as required. Foundation walls
must be reinforced per Table 404.1.2(8). Finished grade shall be graded to
drain surface water away from the foundation and shall fall not less than 6
inches within the first 10' per section 401.3. Where shifting, expansive,
compressible or other questionable soils are encountered, an evaluation and
design is required by a Georgia Registered Engineer.

DRIVEING-GARAGE SEPARATION Table R302.6
SEPARATION MATERIAL
*Front the residence and attic: Not less than 1/2-inch gypsum
board or equivalent applied to the garage side
*From all habitable rooms above the garage: Not less than 5/8-inch
Type X gypsum board or equivalent
*From all other rooms above the garage: Not less than 1/2-inch gypsum board or
equivalent
*From all exterior walls that are within this area:
- Not less than 1/2-inch gypsum board or equivalent applied to
the interior side of exterior walls that are within this area
- Openings in exterior walls shall be protected with a door and/or
other approved fire-rated assembly. One a door used for
the garage and residence shall be equipped with solid wood doors
not less than 1 3/8 inches (35 mm) in thickness, solid or
honeycomb-core steel doors not less than 1 3/8 inches (35 mm)
thick, or 20-minute fire-rated doors.

**NOTE: Tempered glass required if all the following
conditions exist:**
✓ Individual pane of glass > 9 sq. ft.
✓ Bottom edge is < 18 inches above floor
✓ Top edge is > 36 inches above floor
Also, any window within a 24 inch arc of either side of a door
and is < 60 inches above the floor is also required to be
tempered. Windows located within 60 inches of a bath tub
or shower and are < 60 inches above the floor are required
to be tempered.

PRIMEPLUS PrimePlus
Architectural/Civil/Structural/Geotechnical
Residential/Commercial/Utility
PrimePlus Consultants & Associates, P.C. LLC
P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
Email: gmurray@primeplusllc.com WEB: primeplusllc.com
Member, Georgia E. 100

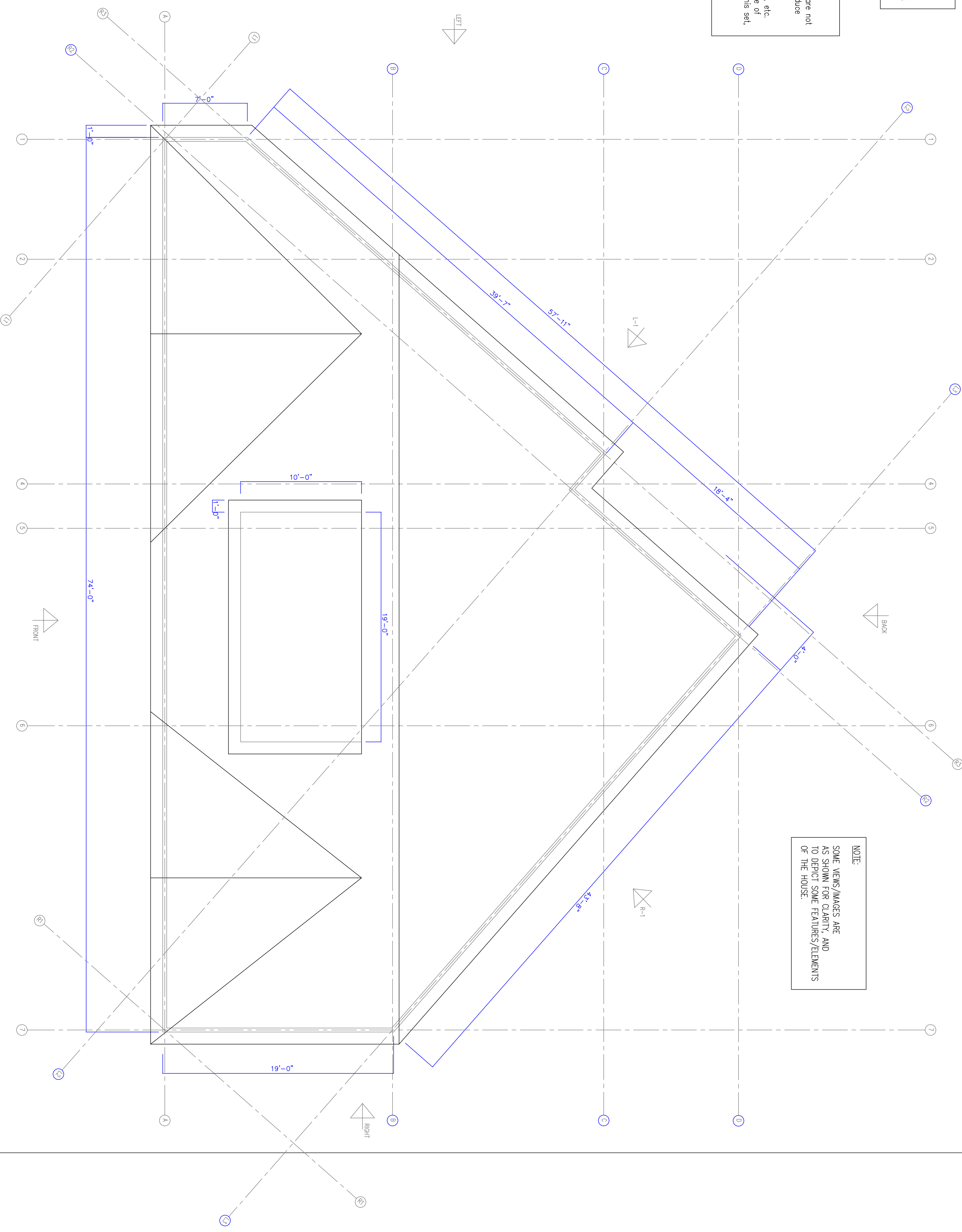


DATE: 04-07-2025

PROJECT:	GEORGE MURRAY, JR. P O BOX 354 LILBURN, GA 30047
CLIENT:	
DESIGN BY:	G. MURRAY, PE
DRAWN BY:	GM
CHECKED:	
DWG SH:	A4.0
SHEET:	4 OF 7
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NOTE:
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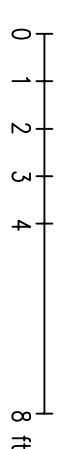
NOTE: (as follows)
 - some information listed below are not shown for clarity and/or to reduce over crowding on the drawings.
 - some dimensions, labels, etc.
 - labels on some doors, windows, etc.
 - these notes may apply to some of the other drawings sheets in this set, as well.
 - etc.



NOTE:
SOME VIEWS/IMAGES ARE AS SHOWN FOR CLARITY, AND TO DEPICT SOME FEATURES/ELEMENTS OF THE HOUSE.

ROOF PLAN VIEW

SCALE: 1/4" = 1'-0" (TYP./MIN.)



(1 inch = 4 ft) [Ratio = 1:48]

NOTES & INFO

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 Architectural/Civil/Structural/Geotechnical
 Residential/Commercial/Utility
 PrimePlus Consultants & Associates, P.C. LLC
 P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
 Email: gmurray@primeplusllc.com WEB: primeplusllc.com
 Founded: 1998 Lic. # 128



DATE: 04-07-2025

CLIENT:

GEORGE MURRAY, JR.
 P O BOX 354
 LILBURN, GA 30047

PROJECT:

(NEW / PROPOSED)
 SINGLE FAMILY RESIDENCE
 0 AZALEA DRIVE
 FAIRBURN, GA 30213

REV/ DESCRIPTION	DATE

ROOF LAYOUT

DESIGN BY: G.MURRAY, PE
 DRAWN BY: GM
 CHECKED:
 DWG SH#: A6.0
 SHEET: 6 OF 7

NOTE:
SOME VIEWS/IMAGES ARE AS SHOWN FOR CLARITY AND TO DEPICT SOME FEATURES/ELEMENTS OF THE HOUSE.

NOTE:
BAY WINDOW SIDE ELEVATION VIEW MAY BE CONSIDERED AS X-RAY VIEW OR TRANSPARENT VIEW FOR CLARITY TO DEPICT THAT FEATURES/ELEMENTS OF THE HOUSE.

NOTE:
SOME VIEWS/IMAGES ARE AS SHOWN FOR CLARITY AND TO DEPICT SOME FEATURES/ELEMENTS OF THE HOUSE.



SCALE: 1/4" = 1'-0" (TYP./MIN)



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Architectural/CAD/Structural/Geotechnical
Residential/Commercial/Utility

PrimePlus Consultants & Associates, P.C. LLC

P O Box 354, Lilburn, GA 30048 Phone: 770-870-7702
Email: gmurray@primeplusllc.com WEB: primeplusllc.com
Member, Georgia R.I.B.E.



DATE: 04-07-2025

<p>CLIENT: GEORGE MURRAY, JR. P O BOX 354 LILBURN, GA 30047</p>		<p>PROJECT: (NEW / PROPOSED) SINGLE FAMILY RESIDENCE 0 AZALEA DRIVE FAIRBURN, GA 30213</p>	
<p>DESIGN BY: G.MURRAY, PE DRAWN BY: GM CHECKED: DWG SH: A7.0</p>		<p>PrimePlus Copyright (c) 2025 ISSUED FOR PERMIT</p>	
<p>ELEVATION VIEWS</p>		<p>SHEET: 7 OF 7</p>	



August 24, 2023

George Murray
301 Marble Springs Road
Lilburn, GA 30047

Re: Primary Variance for 0 Azalea Drive (09F100400531342)

Dear Mr. Murray,

The Planning and Zoning Department received a primary variance request to reduce the city stream buffer for 0 Azalea Drive (09F100400531342) as follows:

- To reduce the city stream buffer from 75' to 70'

After reviewing the variance application, Staff finds that the request satisfies the following requirement:

Sec. 80-254. – Primary variance

A request for a variance from any zoning ordinance provision that is not being handled as a minor, administrative minor or concurrent variance and shall be heard and decided by the planning and zoning commission in accordance with article VI.


All public notification requirements have been met. No relevant objections have been submitted in writing to the Director or made at the public hearing.

Therefore, the primary variance request for 0 Azalea Drive (09F100400531342) has been **APPROVED** with the following conditions:

1. All gutters/downspouts shall be tied into a water quality device, subject to the approval of Public Works;
2. Any disturbance to the 50-foot undisturbed vegetative buffer shall be restored to natural buffer standards, subject to the approval of Public Works, prior to the issuance of a certificate of occupancy;
3. Rear porch and stairs shall be constructed of pervious materials (i.e. pervious pavers or other pervious material), subject to the approval of Public Works;
4. All lot drainage shall be approved by Public Works prior to the issuance of a certificate of occupancy; and
5. Any significant modifications as determined by Staff to the proposed site plan in regard to the city stream buffer encroachment would necessitate a further review by the Board of Appeals.

Should you have any questions, please feel free to contact me at 770-964-2244 ext. 138.

Sincerely,


Chancellor Felton
Planner

CITY OF FAIRBURN

56 SW Malone Street, Fairburn, GA 30213-1341 | (770)964-2244 | Fax (770)969-3484 | www.fairburn.com



CITY OF FAIRBURN PLANNING AND ZONING AGENDA ITEM

SUBJECT: Concept Plan - CSX Support Track

ITEM TYPE: Other/Planning and Zoning

SUBMITTED: 05/29/2026 **WORK SESSION:** N/A **COUNCIL MEETING:** N/A

DEPARTMENT: Planning & Zoning

BUDGET IMPACT: N/A

PUBLIC HEARING: No

PURPOSE:

For the Planning and Zoning Commission to review the conceptual site plan.

HISTORY:

N/A

FACTS AND ISSUES:

The site is located at 6700 McLarin Road between Gullatt Road and Bohannon Road and totals 45 acres. The applicant is proposing four new support tracks adjacent to the existing terminal.

FUNDING SOURCE:

RECOMMENDED ACTION:

Staff recommends approval of the concept plan, subject to the following condition: Any significant modifications to the approved concept plan, as determined by Staff, shall require further review by the Planning and Zoning Commission prior to implementation.

ATTACHMENTS:

1. CSX Support Track Expansion Concept Plan Staff Report Package



CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION

AGENDA ITEM

To: Planning and Zoning Commission

From: Chancellor Felton, Planner

Date: June 2, 2026

Agenda Item: CSX Support Track Expansion – 6700 McLarin Road [Parcel IDs: 07290001561648, 07290001560616, 07290001560673, 07290001560871, 07290001561085, 07290001560814, 07390001650209, 07280001660284, 07280001660300, and 07280001760332] – Request to review the conceptual site plan.

Agent/Applicant/Petitioner Information

Applicant: Matthew J. Stypula, EMH&T

Property Owner: CSX Transportation, Inc.

Background

The site is located at 6700 McLarin Road between Gullatt Road and Bohannon Road. The site is currently zoned M-1(Light Industrial) and M-2 (Heavy Industrial). The site is approximately 45 acres.

Discussion

The applicant is proposing four new support tracks adjacent to the existing terminal. An accurate, up-to-date, and certified survey is included. The concept plan meets the setback and parking requirements of M-1 and M-2.

The concept plan includes all buildings and structures, driveways, parking facilities, walkways, buffer easements, utilities, and other required infrastructure. The site has ingress/egress along McLarin Road.

Staff Recommendations

Staff recommends **APPROVAL** of the concept plan with the following condition:

- Any significant modifications as determined by Staff to the approved concept plan would necessitate a further review by the Planning and Zoning Commission.

Attachments:

- Site Pictures
- Application
- Current Survey and Proposed Concept Plan

SITE PICTURES



CSX Entrance

Conceptual Site Plan Checklist

- An accurate, up-to-date and certified survey of the property on which the project is to be built.
- A vicinity map showing the property in relation to the general area of the City in which it is located.
- The name of the proposed project.
- Name, address, phone number, and fax number of the owner, the developer and the designer who prepared the plan.
- Graphic scale, north arrow, and date of preparation.
- Zoning of the property with required setbacks shown.
- Zoning, use, and ownership of all adjoining property.
- Total area of the site and the area of the site proposed to be devoted to impervious surfaces.
- Approximate topography of the site.
- Significant natural features on and adjacent to the site, including the 100 year flood-plain, if appropriate.
- Existing man-made features on the site.
- Proposed site layout including buildings, drives, parking, walkways, landscaped areas, buffer easements, utilities and any other features necessary to properly present the concept.
- Proposed off-site improvements which may be necessary to properly develop site. N/A
- Architectural elevations to show the intended architectural character of the proposed N/A building and the nature of the materials to be used. N/A
- If the site plan is for an addition to or change in an existing site plan, the drawings must clearly show the changes that are being proposed. N/A
- Provide vehicular use area landscaping requirements N/A



CITY OF FAIRBURN

Planning & Zoning Department

Site Plan Review- Submittal Form

Submittal Date: 3/26/2026

Deadline: 3/31/2026
 (Minimum 5 weeks prior to P & Z Commission meeting)

PROJECT INFORMATION

Project Name: CSX Fairburn Support Yard Expansion

Address/Location of Project: 6700 McLarin Road

Access to Property: Existing entrance to be utilized of McLarin Road

Tax Parcel ID #: See List below* Size of Project: 45 acres

Zoning: M-2 No. of Lots (if applicable): 10

Zoning & Use of Adjacent Properties: M-1 & M-2

*Tax Parcels: 07290001561648; 07290001560616; 07290001560673; 07290001560871; 07290001561085; 07290001560814; 07390001650209; 07280001660284; 07280001660300; 07280001760332

Narrative/ Description for use of property/project (attach additional pages as necessary to provide greater detail):

Construction of 4 near support tracks adjacent to existing terminal. The project will add approximately 28,000 feet of storage track. The track expansion will require grading and modifications to the existing basins located south east of the terminal. The project will not make any modifications to the site entrance or gate.

CONTACT INFORMATION

Company Name: CSX Transportation

Contact Person: John Vetter

Mailing Address: 500 Water Street, Jacksonville, FL 32202

Phone: 904-633-1427 Fax: _____

Email Address: john_vetter@csx.com

UTILITY SERVICE PROVIDERS

Water: Fairburn

Sewer: Fairburn

Electric: Georgia Power

Gas: Atlanta Gas Light

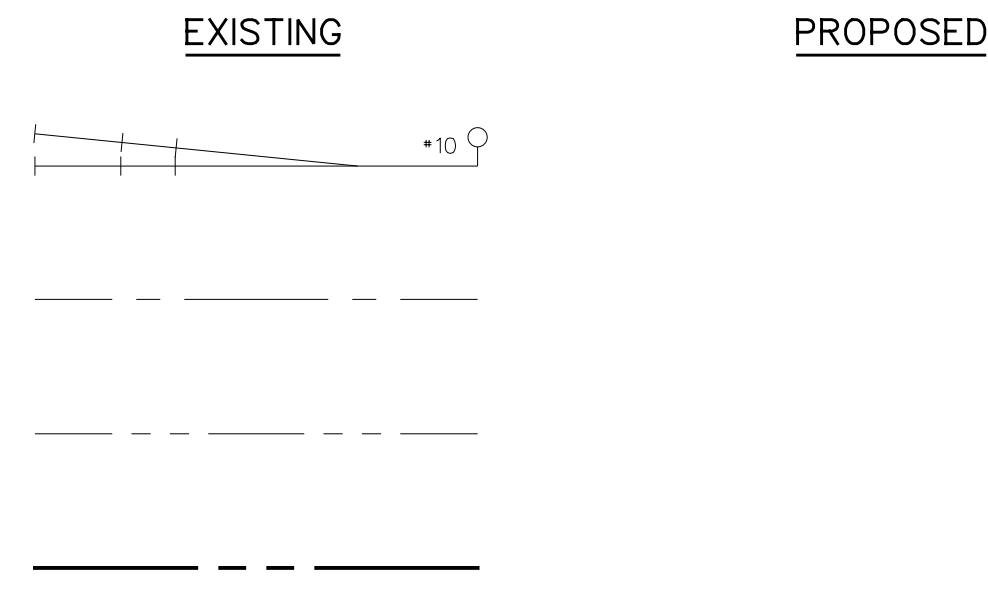
Cable: _____

Other: _____

<u>Sketch Plan</u>	<u>Conceptual Site Plan</u>	<u>Construction Plans w/Hydro</u>	<u>Landscape Plan</u>
<input type="checkbox"/> 1st Submittal- No Fee Submit to P & Z for review	<input checked="" type="checkbox"/> 1st Submittal \$150 + \$20/acre <input type="checkbox"/> Resubmittal*	<input type="checkbox"/> 1st Submittal \$500 + \$20/ acre <input type="checkbox"/> Resubmittal*	<input type="checkbox"/> 1st Submittal \$300 + \$20/acre <input type="checkbox"/> Resubmittal*
If necessary, 2 extra copies (If legible, .pdf file is acceptable). Staff routes to: <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Planning & Zoning	7 Copies- Staff Routes to: <input type="checkbox"/> Building/Prop. Manager <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Engineer <input type="checkbox"/> Fire Marshal <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Planning & Zoning <input type="checkbox"/> Water & Sewer	7 Copies- Staff Routes to: <input type="checkbox"/> Building / Prop. Manager <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Engineer <input type="checkbox"/> Fire Marshal <input type="checkbox"/> Landscape Architect <input type="checkbox"/> Planning & Zoning <input type="checkbox"/> Water & Sewer	2 Copies- Staff Routes to: <input type="checkbox"/> Comm. Dev. Director <input type="checkbox"/> Landscape Architect

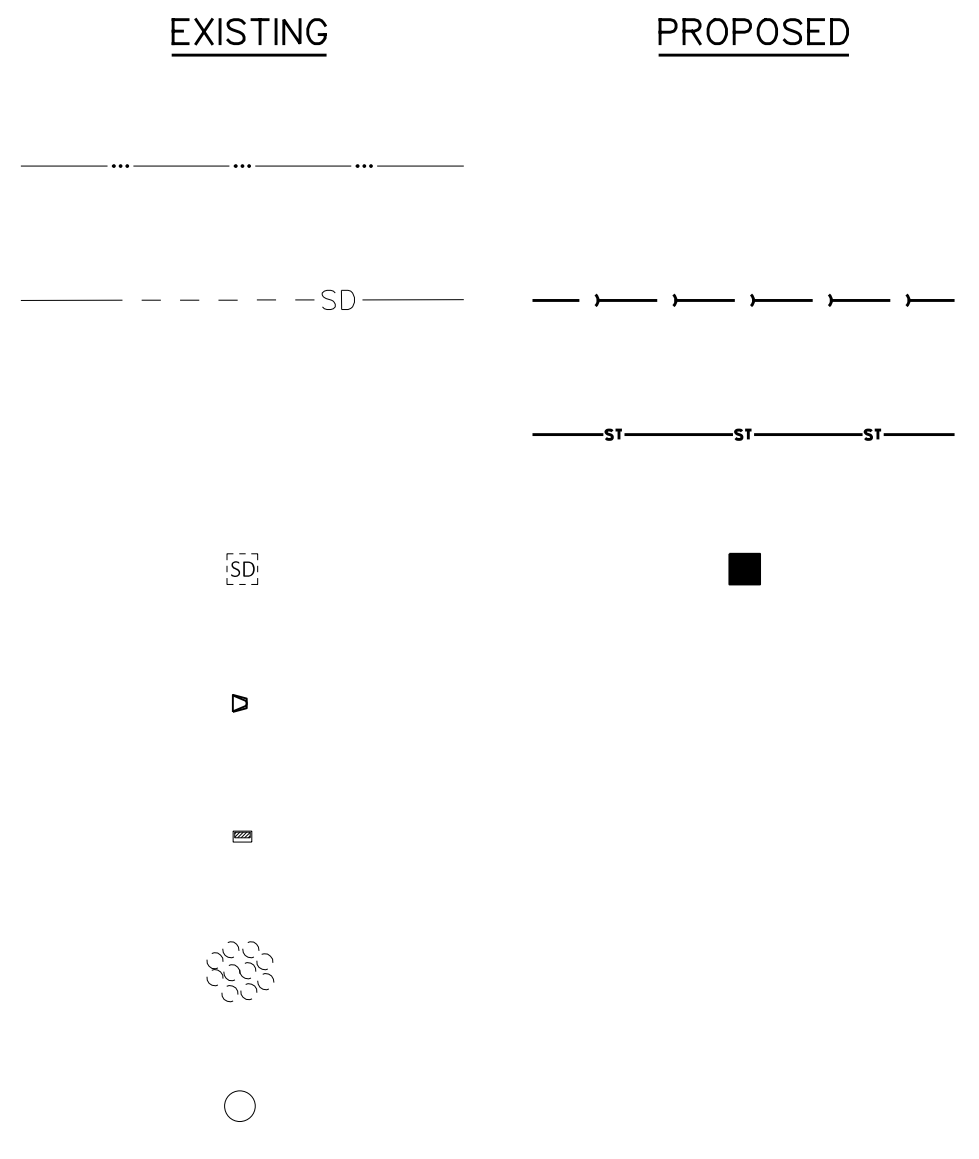
Resubmittals- Each subsequent resubmittal will incur a fee of \$100.

TRACK SYMBOLS



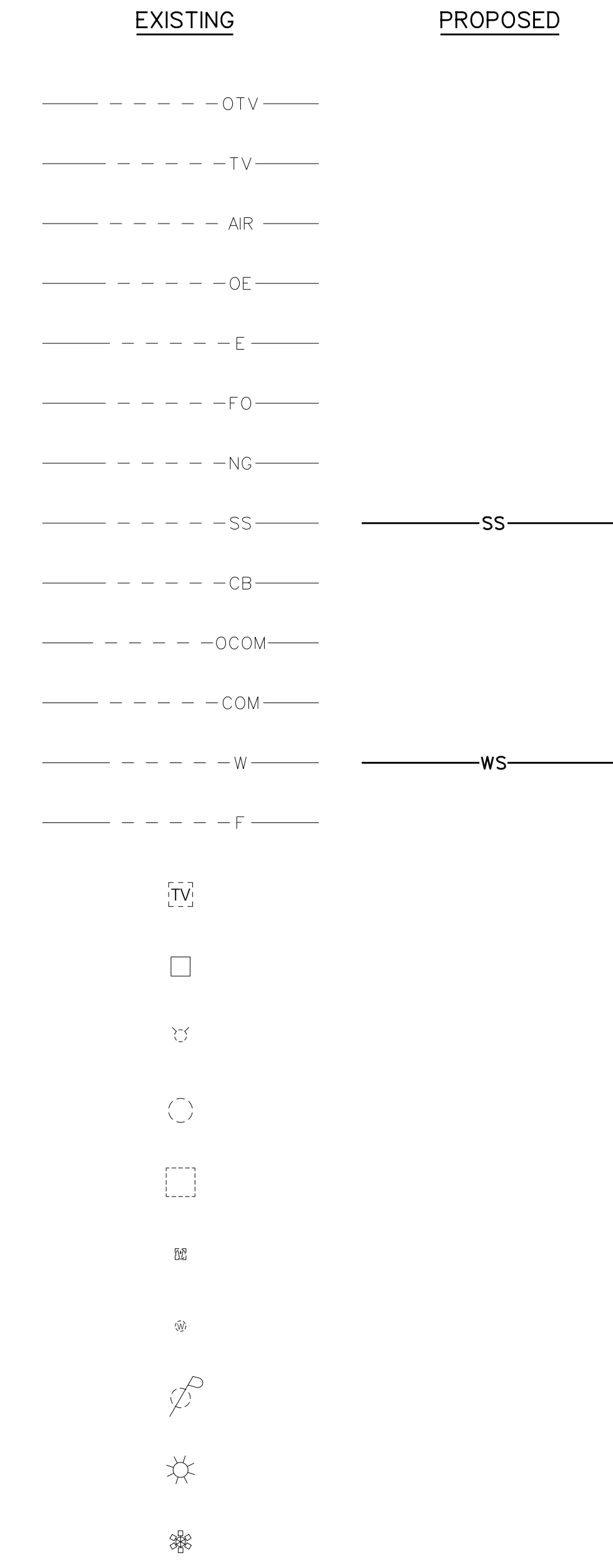
POINT OF SWITCH - TURNOUT SIZE
C/L TRACK
PROPERTY LINE
RIGHT OF WAY

DRAINAGE SYMBOLS



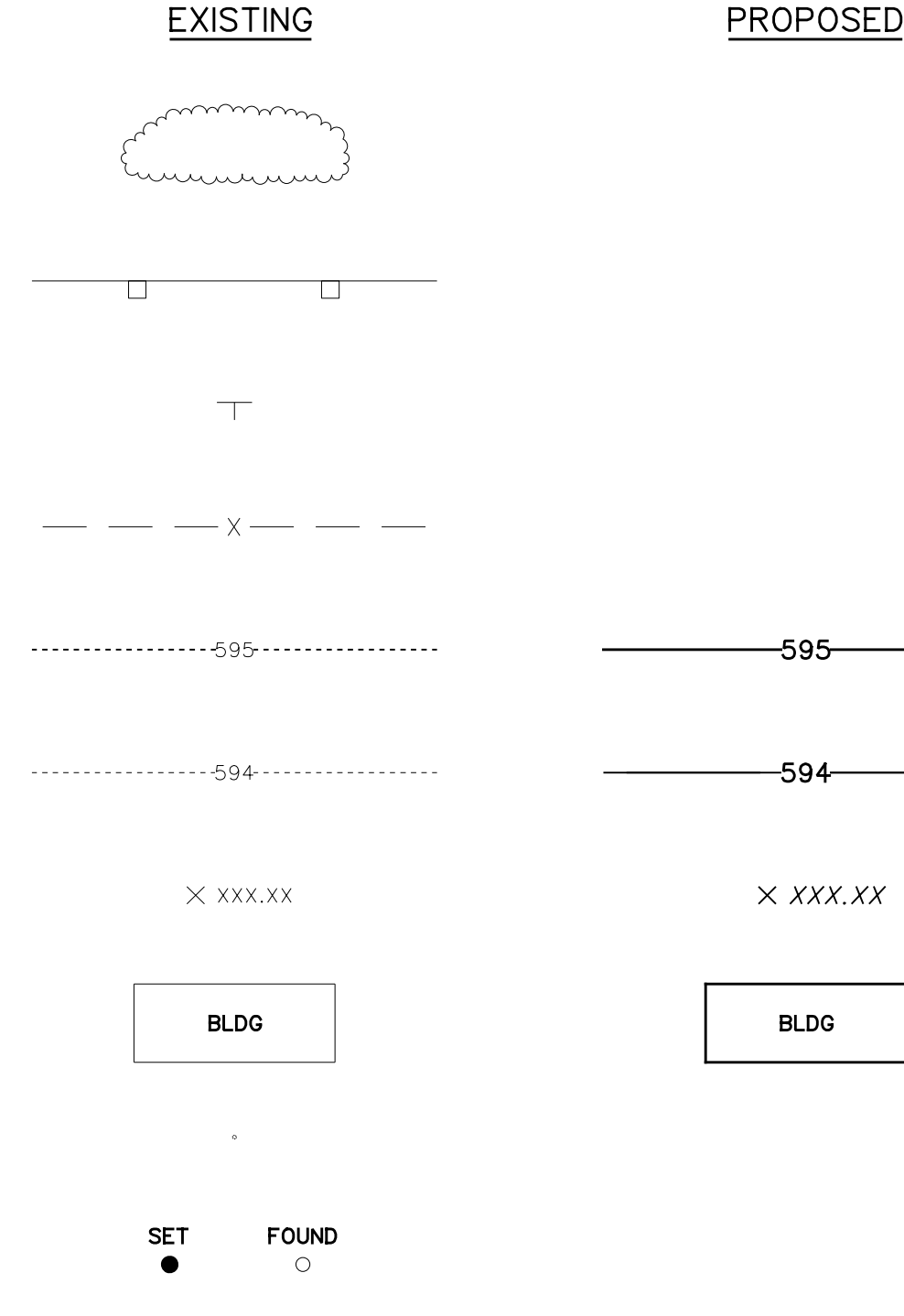
DRAINAGE FLOW LINE
STORM SEWER PIPE
ROOF DRAIN
CATCH BASIN
FLARED END SECTION
INLET
RIPRAP APRON (PIPE OUTLET)
STORM SEWER MANHOLE

UTILITY SYMBOLS



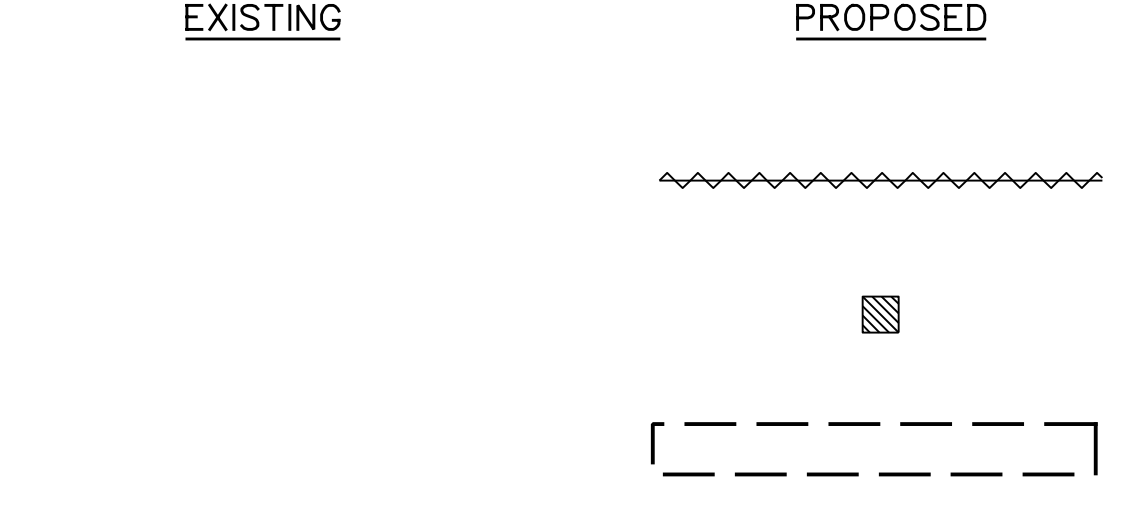
CABLE TV - OVERHEAD
CABLE TV - UNDERGROUND
COMPRESSED AIR LINE
ELECTRIC LINE - OVERHEAD
ELECTRIC LINE - UNDERGROUND
FIBER OPTIC TELECOMMUNICATIONS CONDUIT
GAS LINE PIPE MAT. & SIZE
SANITARY SEWER PIPE
COMBINED SEWER PIPE
TELECOMMUNICATIONS LINE - OVERHEAD
TELECOMMUNICATIONS LINE - UNDERGROUND
WATER LINE PIPE
FIRE LINE PIPE
CABLE TV PEDESTAL
ELECTRIC BOX
FIRE HYDRANT
SANITARY/SEWER MANHOLE
TELEPHONE MANHOLE
WATER METER
WATER VALVE
POWER POLE
LIGHT POLE (ROADWAY LIGHT)
HIGHMAST LIGHT POLE

MISCELLANEOUS SYMBOLS



TREE LINE
HIGHWAY GUARDRAIL
DIRECTIONAL SIGN
FENCE (CHAIN LINK)
MAJOR CONTOUR
MINOR CONTOUR
SPOT ELEVATION
STRUCTURE
BOLLARD
SURVEY PINS

EROSION CONTROL SYMBOLS



COMPOST FILTER ROLL
INLET PROTECTION
LIMITS OF GRADING

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PROJECT NUMBER	WORK ELEMENT	PHYSICAL ENTRY	CONTRACT DESIGNATOR	LINE ITEM

**CONCEPTUAL
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NOT FOR CONSTRUCTION**

Information confidential all plans, drawings, specifications, and/or information furnished hereafter shall remain the property of the CSX Transportation and shall be held confidential and shall not be used for any purpose not provided for in agreements with the CSX Transportation.

DESIGNED BY	BJH
DRAWN BY	BJH
CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT
DESIGN & CONSTRUCTION
JACKSONVILLE, FLORIDA

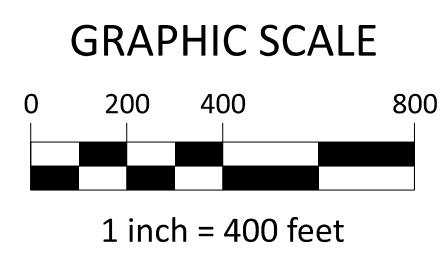
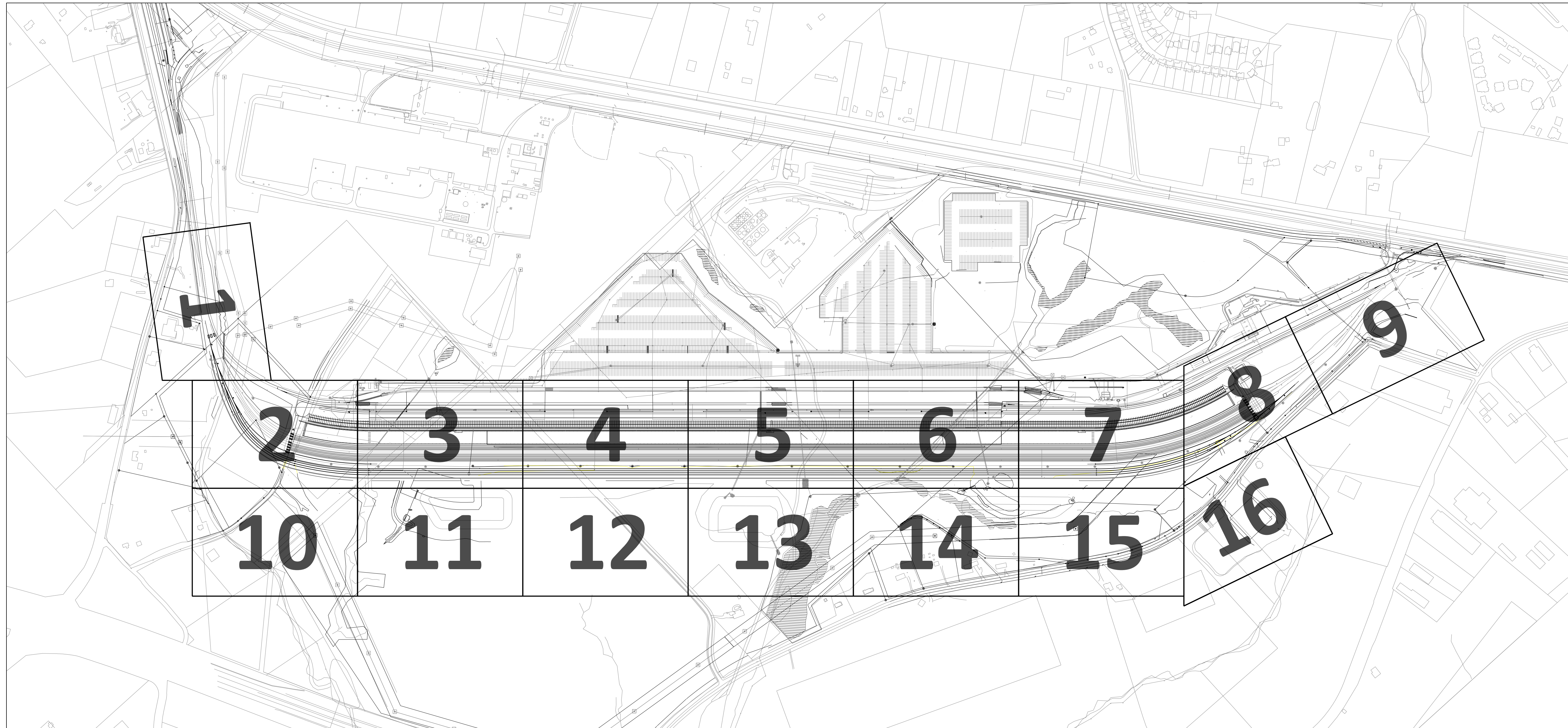



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Evans, Mechwart, Hornblower & Wilson, Inc.
Engineers • Surveyors • Planners • Scientists
590 New Albany Road Columbus, OH 43254
Phone: 614.770.4500 Toll Free: 888.770.3648
emht.com

VAL. SEC.	CONTRACT NO. 20250791
	DRAWING NO. G1-003
	REVISION 0 SHEET NO. 3 OF 21
	SCALE NONE

FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
LEGEND AND SYMBOLS
FAIRBURN, GA

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PROJECT NUMBER	COST ELEMENT	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTRY	WORK ELEMENT
REV	DATE	DESCRIPTION	BY	SUB	APP

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CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT
 DESIGN & CONSTRUCTION
 JACKSONVILLE, FLORIDA

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VAL. SEC.	CONTRACT NO. 20250791
	DRAWING NO. G1-004
	REVISION 0 SHEET NO. 4 OF 21
	SCALE 1" = 400'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION

KEY PLAN
 FAIRBURN, GA

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PROJECT NUMBER	
COST ELEMENT	
LINE ITEM	
CONTRACT DESIGNATOR	
PHYSICAL ENTRY	
WORK ELEMENT	

REV	DATE	DESCRIPTION	BY	SUB	APP

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DRAWN BY	BJH
CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC.

ENGINEERING DEPARTMENT
 DESIGN & CONSTRUCTION
 JACKSONVILLE, FLORIDA

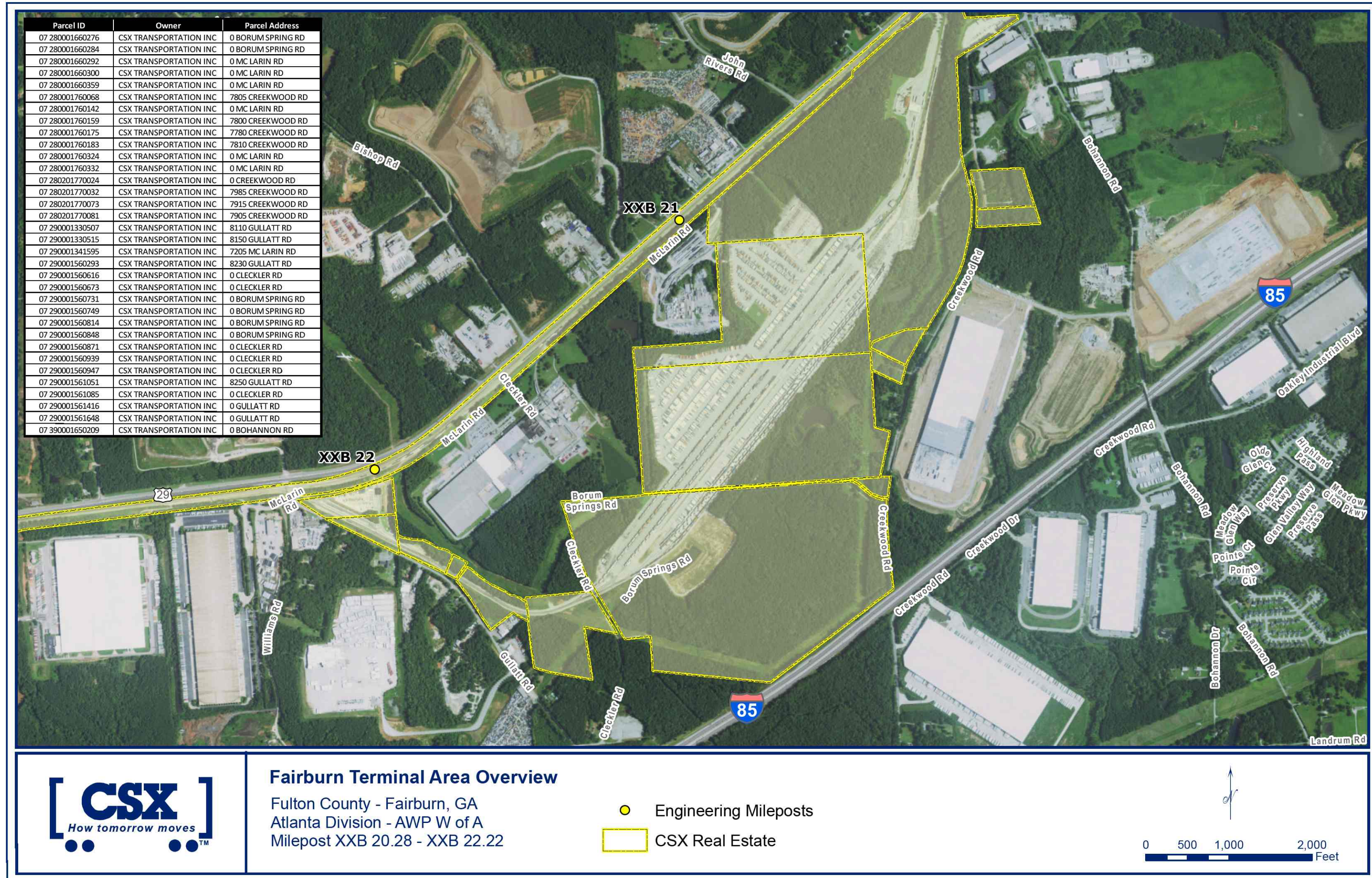
CSX

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VAL. SEC.	
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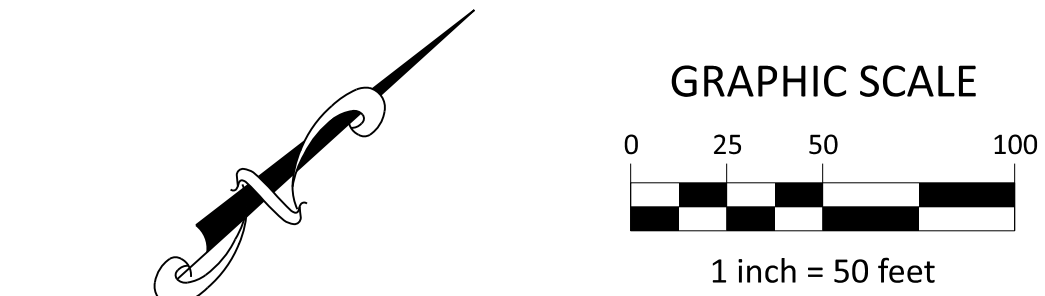
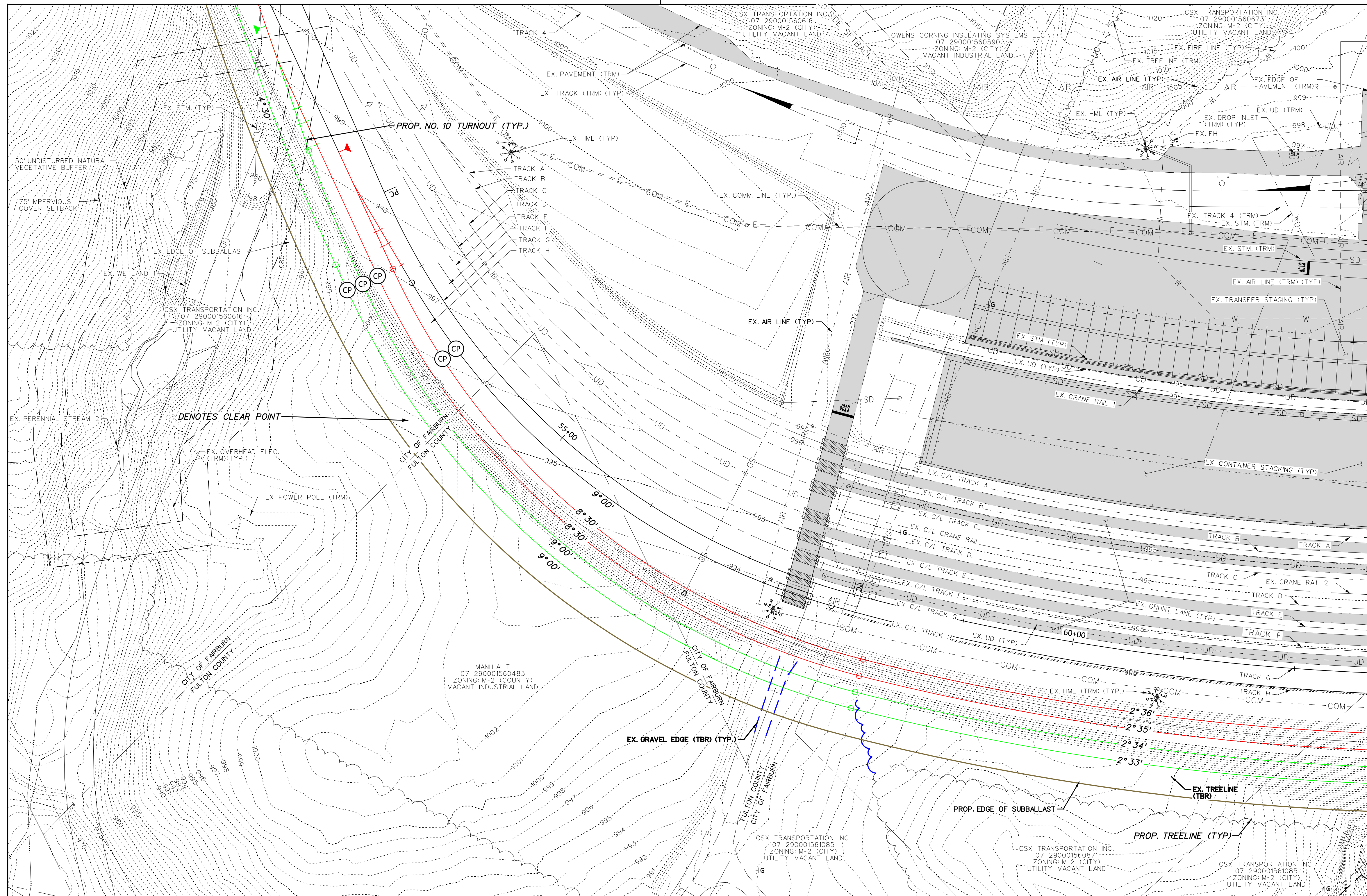
CONTRACT NO.		20250791
DRAWING NO.		GI-005
REVISION	SHEET NO.	
0	5 OF 21	
SCALE		AS SHOWN

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 BOUNDARY MAP
 FAIRBURN, GA



Parcel ID	Owner	Parcel Address
07 280001660276	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 280001660284	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 280001660292	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280001660300	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280001660309	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280001760068	CSX TRANSPORTATION INC	7805 CREEKWOOD RD
07 280001760142	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280001760159	CSX TRANSPORTATION INC	7800 CREEKWOOD RD
07 280001760175	CSX TRANSPORTATION INC	7780 CREEKWOOD RD
07 280001760183	CSX TRANSPORTATION INC	7810 CREEKWOOD RD
07 280001760324	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280001760332	CSX TRANSPORTATION INC	0 MC LARIN RD
07 280201770024	CSX TRANSPORTATION INC	0 CREEKWOOD RD
07 280201770032	CSX TRANSPORTATION INC	7985 CREEKWOOD RD
07 280201770073	CSX TRANSPORTATION INC	7915 CREEKWOOD RD
07 280201770081	CSX TRANSPORTATION INC	7905 CREEKWOOD RD
07 290001330507	CSX TRANSPORTATION INC	8110 GULLATT RD
07 290001330515	CSX TRANSPORTATION INC	8150 GULLATT RD
07 290001341595	CSX TRANSPORTATION INC	7205 MC LARIN RD
07 290001560293	CSX TRANSPORTATION INC	8230 GULLATT RD
07 290001560616	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001560673	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001560731	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 290001560749	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 290001560814	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 290001560848	CSX TRANSPORTATION INC	0 BORUM SPRING RD
07 290001560871	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001560939	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001560947	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001561051	CSX TRANSPORTATION INC	8350 GULLATT RD
07 290001561085	CSX TRANSPORTATION INC	0 CLECKLER RD
07 290001561416	CSX TRANSPORTATION INC	0 GULLATT RD
07 290001561648	CSX TRANSPORTATION INC	0 GULLATT RD
07 390001600209	CSX TRANSPORTATION INC	0 BOHANNON RD

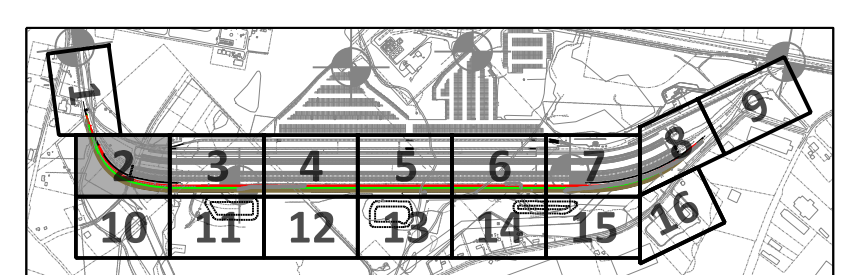
MATCH LINE
SEE DRAWING NO. CS-101



- LEGEND**
- EXISTING RIGHT-OF-WAY
 - PROJECT BOUNDARY
 - MUNICIPAL BOUNDARY
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
 - EXISTING C/L OF TRACK
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER
 - EXISTING UTILITY (TBR)
 - EXISTING GUARDRAIL
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING C/L OF DITCH
 - EXISTING C/L OF DITCH (TBR)
 - EXISTING FENCE
 - EXISTING FENCE (TBR)
 - EXISTING C/L OF PAVEMENT
 - EXISTING EDGE OF PAVEMENT (TBR)
 - EXISTING EDGE OF GRAVEL
 - EXISTING EDGE OF GRAVEL (TBR)
 - EXISTING TREELINE
 - EXISTING TREELINE (TBR)
 - EXISTING BUILDING
 - POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING PAVEMENT

- NOTES:**
- ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.

MATCH LINE
SEE DRAWING NO. CS-110



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PROJECT NUMBER	COST ELEMENT	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT

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DESIGNED BY	B.J.H.
DRAWN BY	B.J.H.
CHECKED BY	M.J.S.
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT
DESIGN & CONSTRUCTION
JACKSONVILLE, FLORIDA

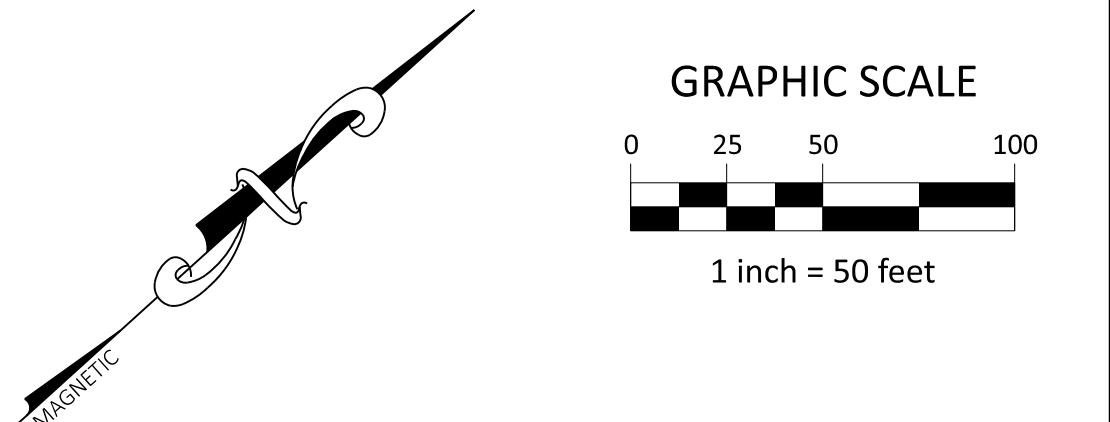
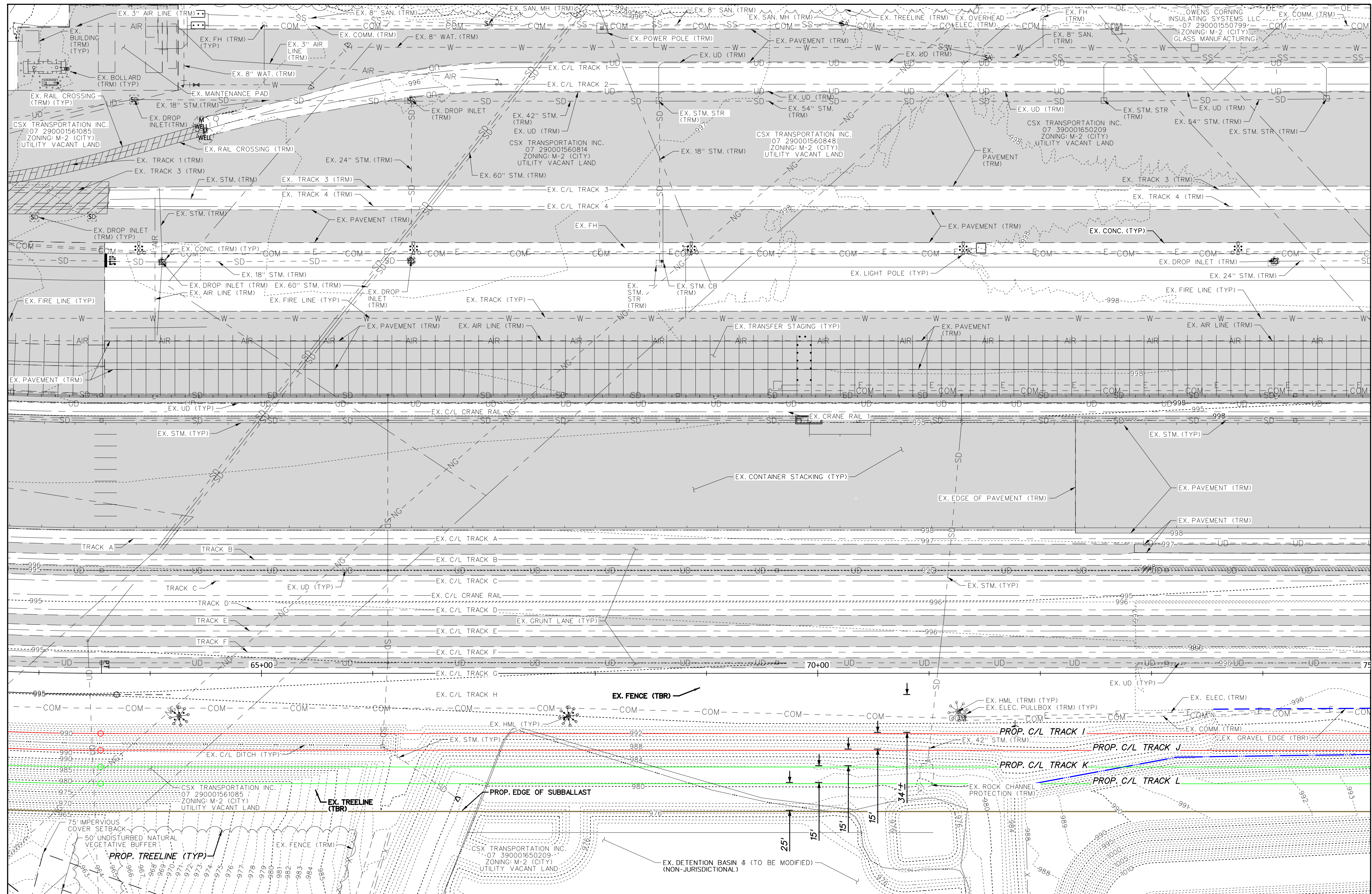
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Engineers • Surveyors • Planners • Scientists
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Phone: 614.752.6500 Fax: 614.752.3648
emht.com

VAL. SEC.	CONTRACT NO.	20250791
	DRAWING NO.	CS-102
	REVISION	0
	SHEET NO.	7 OF 21
	SCALE	1" = 50'

FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
SITE PLAN - ZONE 2
FAIRBURN, GA

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PROJECT NUMBER	20250791
LINE ITEM	CS-103
CONTRACT DESIGNATOR	CS-103
PHYSICAL ENTITY	RAIL
WORK ELEMENT	CONCEPT PLAN



LEGEND

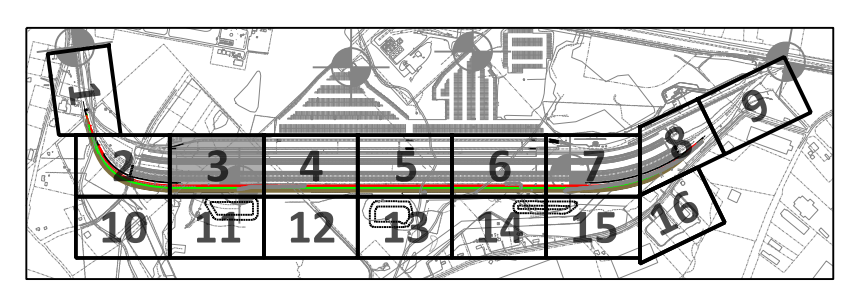
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	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	=POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
	EXISTING GUARDRAIL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING C/L OF DITCH
	EXISTING C/L OF DITCH (TBR)
	EXISTING FENCE
	EXISTING FENCE (TBR)
	EXISTING C/L OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT (TBR)
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF GRAVEL (TBR)
	EXISTING TREELINE
	EXISTING TREELINE (TBR)
	EXISTING BUILDING
	=POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
	=SIZE OF TURNOUT
	PROPOSED C/L OF TRACK
	RESURFACED EXISTING TRACK
	EXISTING HIGMAST LIGHT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING PAVEMENT

NOTES:
 1. ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.

MATCH LINE
 SEE DRAWING NO. CS-102

MATCH LINE
 SEE DRAWING NO. CS-104

MATCH LINE
 SEE DRAWING NO. CS-111



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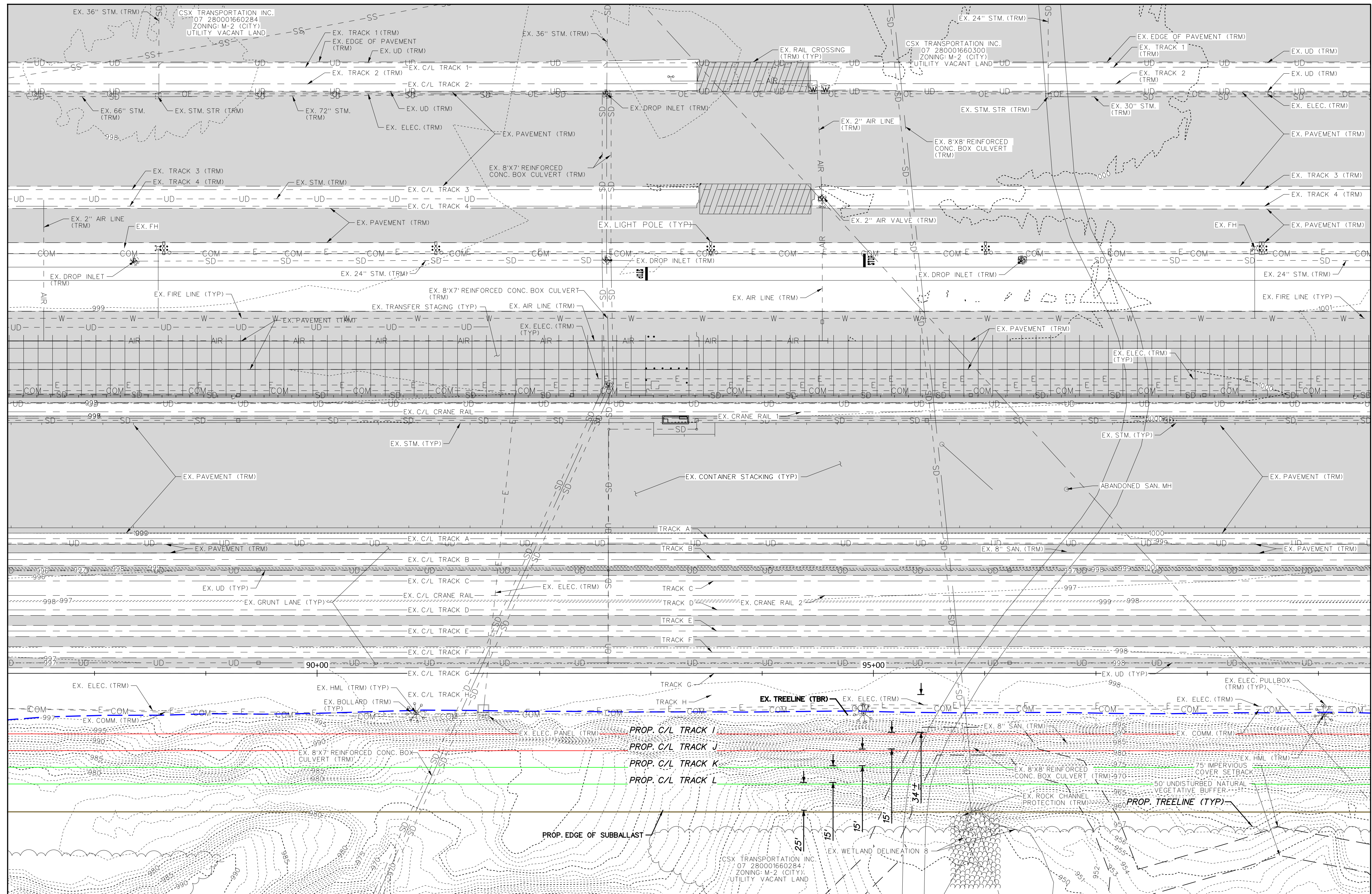
DESIGNED BY	BJH	CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT DESIGN & CONSTRUCTION JACKSONVILLE, FLORIDA
DRAWN BY	BJH	
CHECKED BY	MJS	
APPROVED BY	RAH	
DATE	MAY 12, 2026	

VAL. SEC.	CONTRACT NO.	20250791
	DRAWING NO.	CS-103
	REVISION	0
	SHEET NO.	8 OF 21
	SCALE	1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 3
 FAIRBURN, GA

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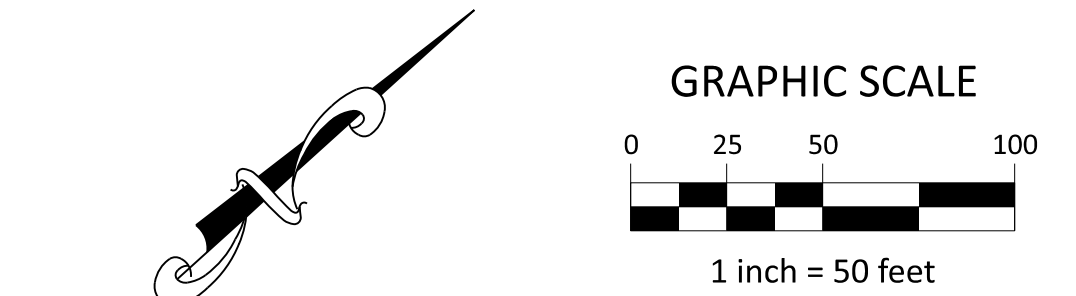
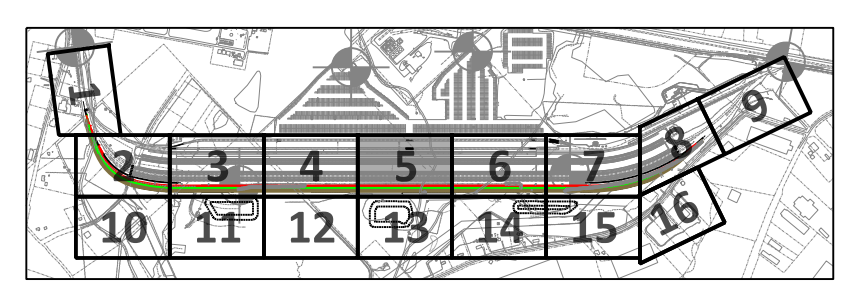
PROJECT NUMBER	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT



MATCH LINE
SEE DRAWING NO. CS-104

MATCH LINE
SEE DRAWING NO. CS-106

MATCH LINE
SEE DRAWING NO. CS-113



- LEGEND**
- EXISTING RIGHT-OF-WAY
 - PROJECT BOUNDARY
 - MUNICIPAL BOUNDARY
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING C/L OF TRACK
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER
 - EXISTING WATER
 - EXISTING UTILITY (TBR)
 - EXISTING GUARDRAIL
 - EXISTING MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING C/L OF DITCH
 - EXISTING C/L OF DITCH (TBR)
 - EXISTING FENCE
 - EXISTING FENCE (TBR)
 - EXISTING C/L OF PAVEMENT
 - EXISTING EDGE OF PAVEMENT
 - EXISTING EDGE OF GRAVEL
 - EXISTING EDGE OF GRAVEL (TBR)
 - EXISTING TREELINE
 - EXISTING TREELINE (TBR)
 - EXISTING BUILDING
 - PROPOSED C/L OF TRACK
 - RESURFACED EXISTING TRACK
 - EXISTING HIGHMAST LIGHT
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING PAVEMENT

NOTES:
 1. ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.

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DESIGNED BY	BJH
DRAWN BY	BJH
CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT
 DESIGN & CONSTRUCTION
 JACKSONVILLE, FLORIDA

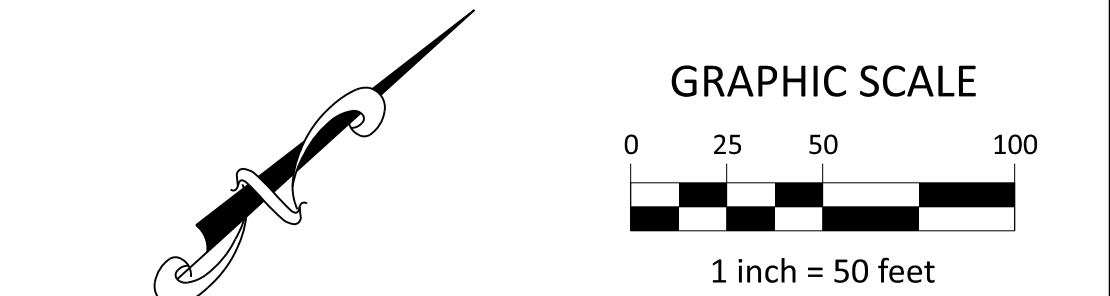
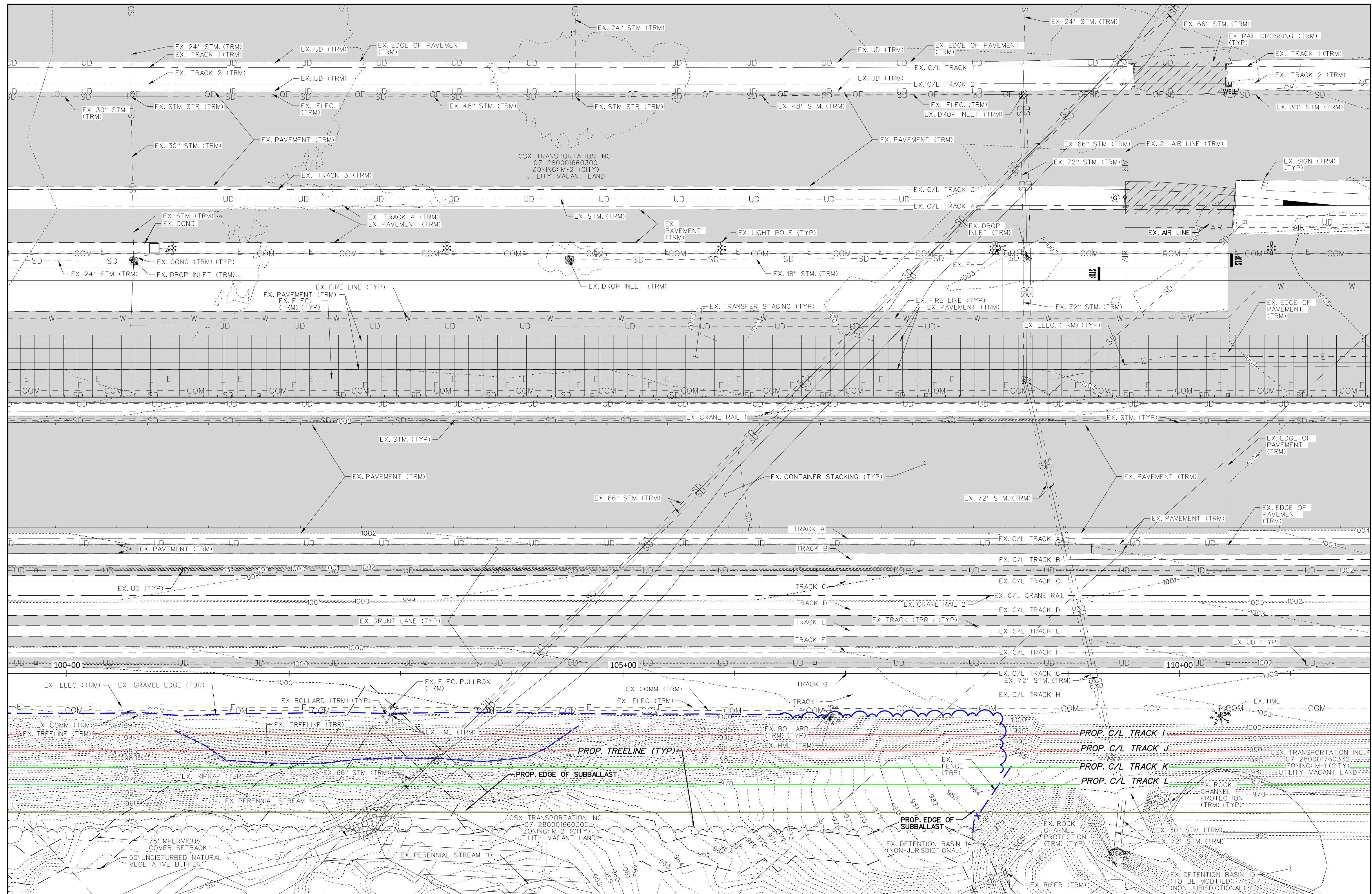
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 emht.com

VAL. SEC.	CONTRACT NO. 20250791
	DRAWING NO. CS-105
	REVISION 0
	SHEET NO. 10 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 5
 FAIRBURN, GA

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PROJECT NUMBER	20250791
LINE ITEM	16
CONTRACT DESIGNATOR	CS-106
WORK ELEMENT	CONCEPT PLAN



LEGEND

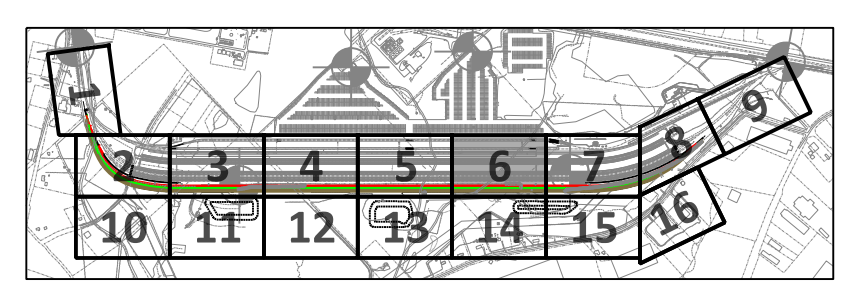
	EXISTING RIGHT-OF-WAY
	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
	EXISTING GUARDRAIL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING C/L OF DITCH
	EXISTING C/L OF DITCH (TBR)
	EXISTING FENCE
	EXISTING FENCE (TBR)
	EXISTING C/L OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT (TBR)
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF GRAVEL (TBR)
	EXISTING TREELINE
	EXISTING TREELINE (TBR)
	EXISTING BUILDING
	PROPOSED C/L OF TRACK
	RESURFACED EXISTING TRACK
	EXISTING HIGHMAST LIGHT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING PAVEMENT

NOTES:
 1. ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.

MATCH LINE
SEE DRAWING NO. CS-105

MATCH LINE
SEE DRAWING NO. CS-107

MATCH LINE
SEE DRAWING NO. CS-114



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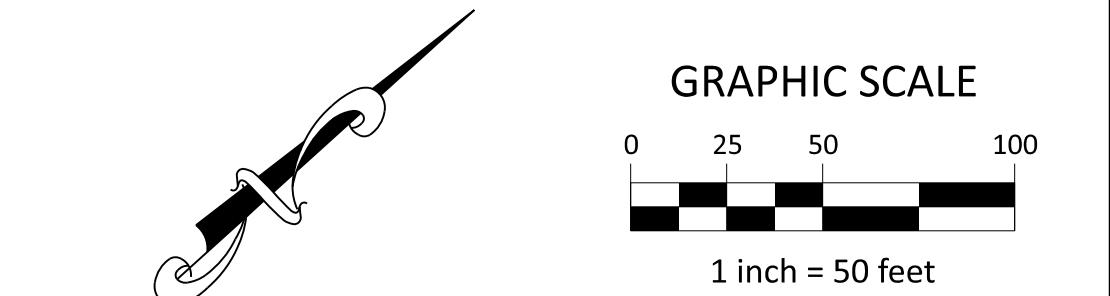
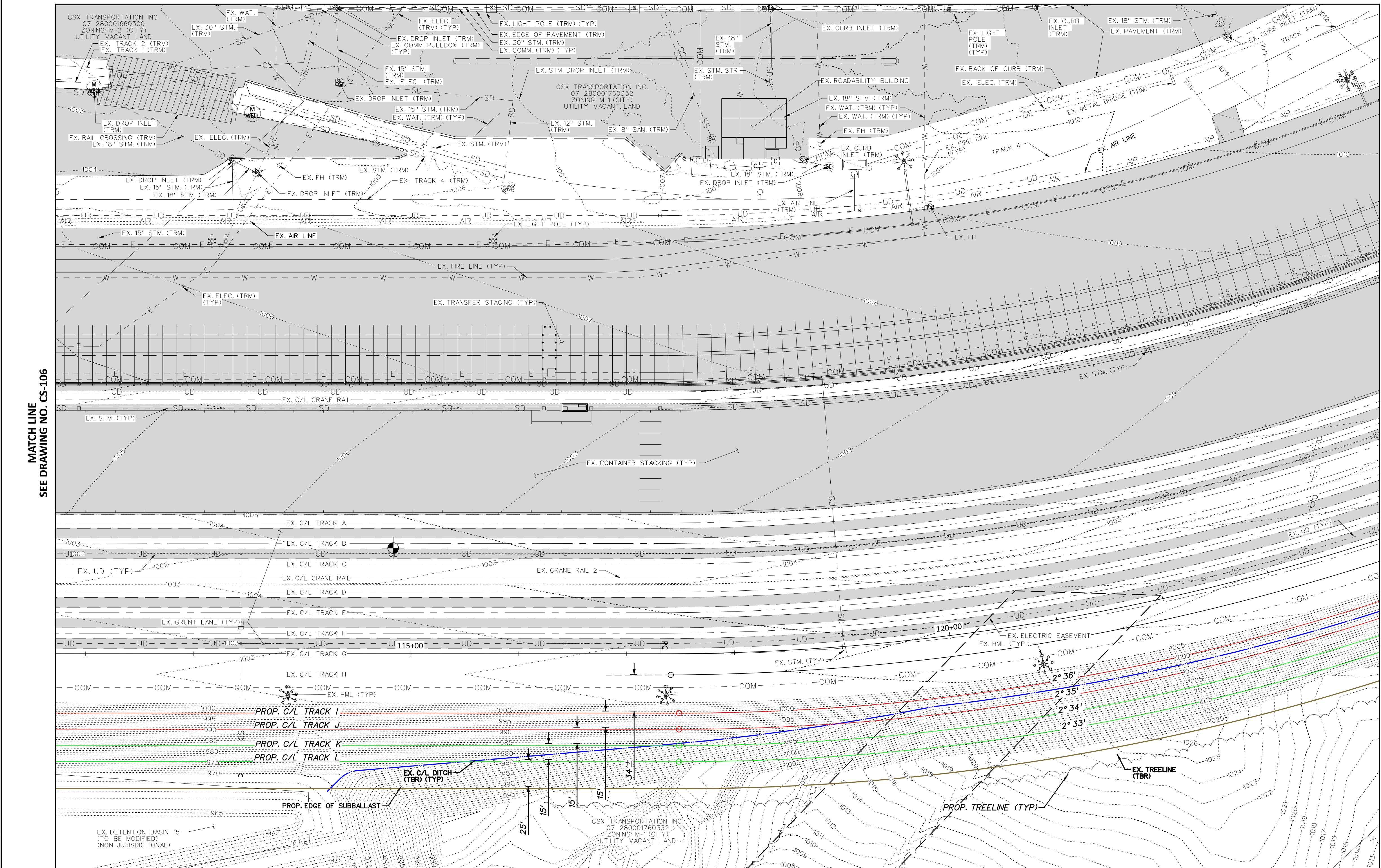
DESIGNED BY	BJH	CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT DESIGN & CONSTRUCTION JACKSONVILLE, FLORIDA
DRAWN BY	BJH	
CHECKED BY	MJS	
APPROVED BY	RAH	
DATE	MAY 12, 2026	

VAL. SEC.	CONTRACT NO.	20250791
	DRAWING NO.	CS-106
	REVISION	0
	SHEET NO.	11 OF 21
	SCALE	1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 6
 FAIRBURN, GA

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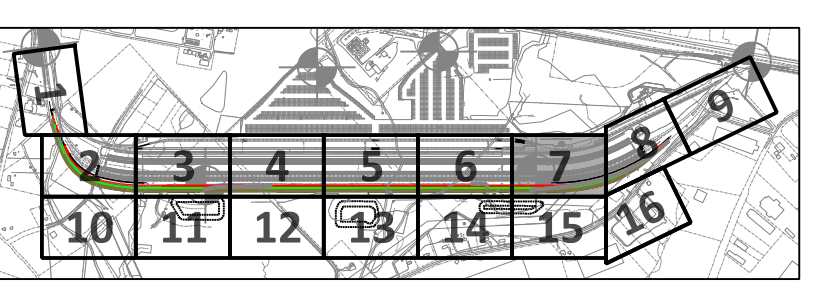
PROJECT NUMBER	20250791
LINE ITEM	107
CONTRACT DESIGNATOR	CS-107
PHYSICAL ENTITY	CONCEPT PLAN
WORK ELEMENT	CONCEPT PLAN



LEGEND

	EXISTING RIGHT-OF-WAY
	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
	EXISTING GUARDRAIL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING C/L OF DITCH
	EXISTING C/L OF DITCH (TBR)
	EXISTING FENCE
	EXISTING FENCE (TBR)
	EXISTING C/L OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF GRAVEL (TBR)
	EXISTING TREELINE
	EXISTING TREELINE (TBR)
	EXISTING BUILDING
	PROPOSED C/L OF TRACK
	RESURFACED EXISTING TRACK
	EXISTING HIGHMAST LIGHT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING PAVEMENT

NOTES:
 1. ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.



MATCH LINE
 SEE DRAWING NO. CS-115

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DESIGNED BY	BJH
DRAWN BY	BJH
CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

CSX TRANSPORTATION, INC.

ENGINEERING DEPARTMENT
 DESIGN & CONSTRUCTION
 JACKSONVILLE, FLORIDA

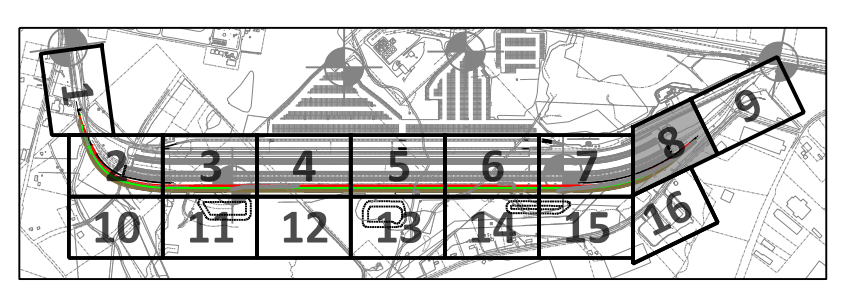
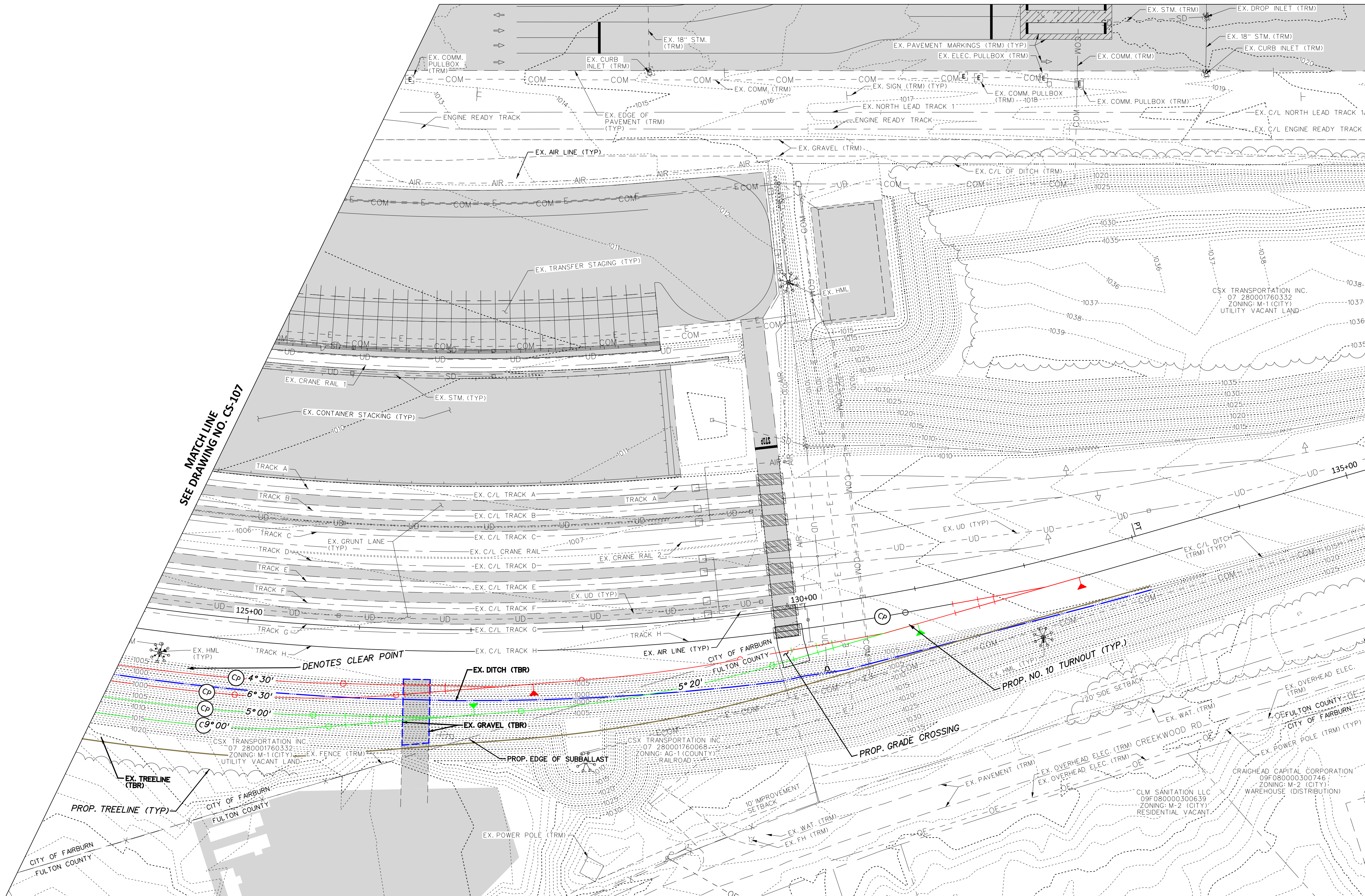
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 Phone: 614.776.6500 Toll Free: 888.776.3648
 emht.com

VAL. SEC.	CONTRACT NO.	20250791
	DRAWING NO.	CS-107
	REVISION	0
	SHEET NO.	12 OF 21
	SCALE	1" = 50'

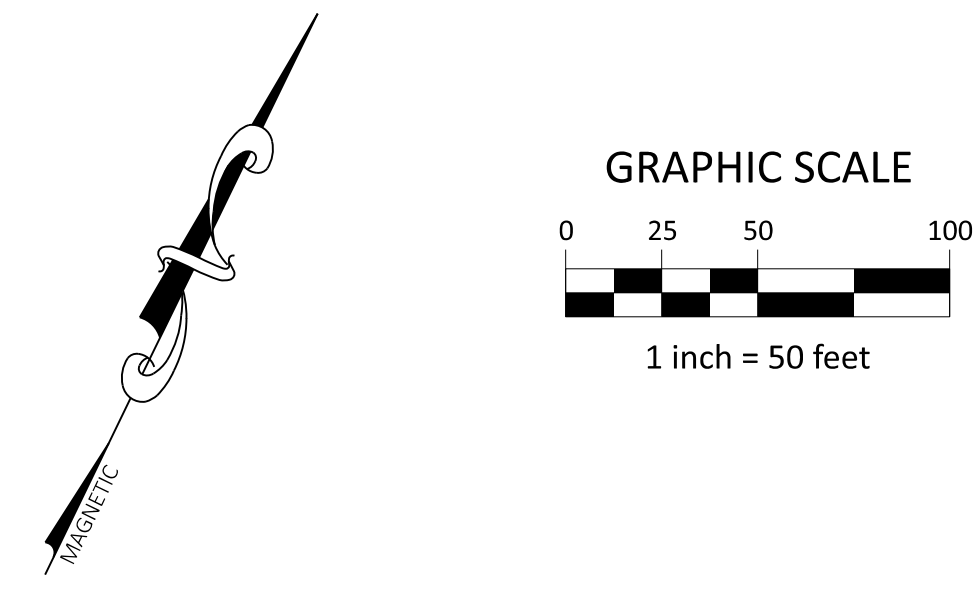
FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 7
 FAIRBURN, GA

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PROJECT NUMBER	20250791
COST ELEMENT	CONCEPT PLAN
LINE ITEM	CONTRACTOR DESIGNATOR
	PHYSICAL ENTITY
	WORK ELEMENT



MATCH LINE
SEE DRAWING NO. CS-116



LEGEND

	EXISTING RIGHT-OF-WAY
	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
	EXISTING GUARDRAIL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING C/L OF DITCH
	EXISTING C/L OF DITCH (TBR)
	EXISTING FENCE
	EXISTING FENCE (TBR)
	EXISTING C/L OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT (TBR)
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF GRAVEL (TBR)
	EXISTING TREELINE
	EXISTING TREELINE (TBR)
	EXISTING BUILDING
	PROPOSED C/L OF TRACK
	RESURFACED EXISTING TRACK
	EXISTING HIGHMAST LIGHT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING PAVEMENT

NOTES:
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DESIGNED BY	BJH
DRAWN BY	BJH
CHECKED BY	MJS
APPROVED BY	RAH
DATE	MAY 12, 2026

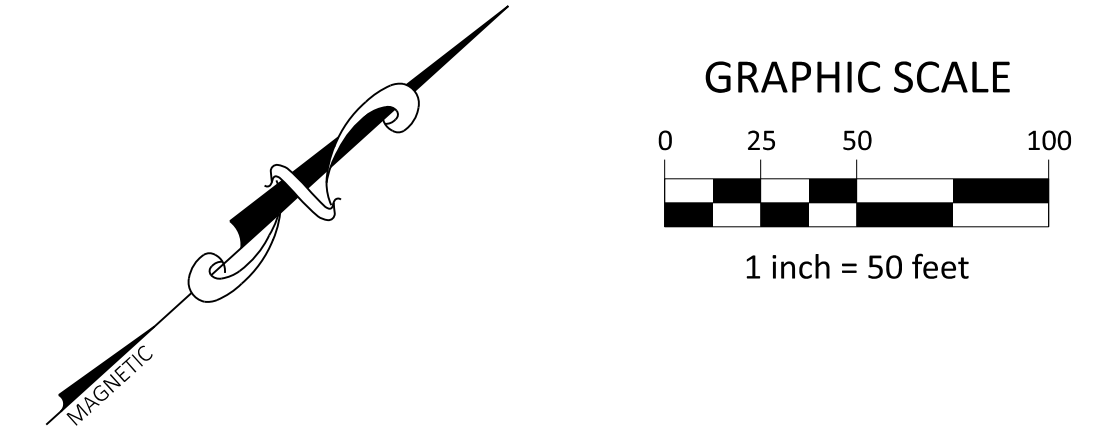
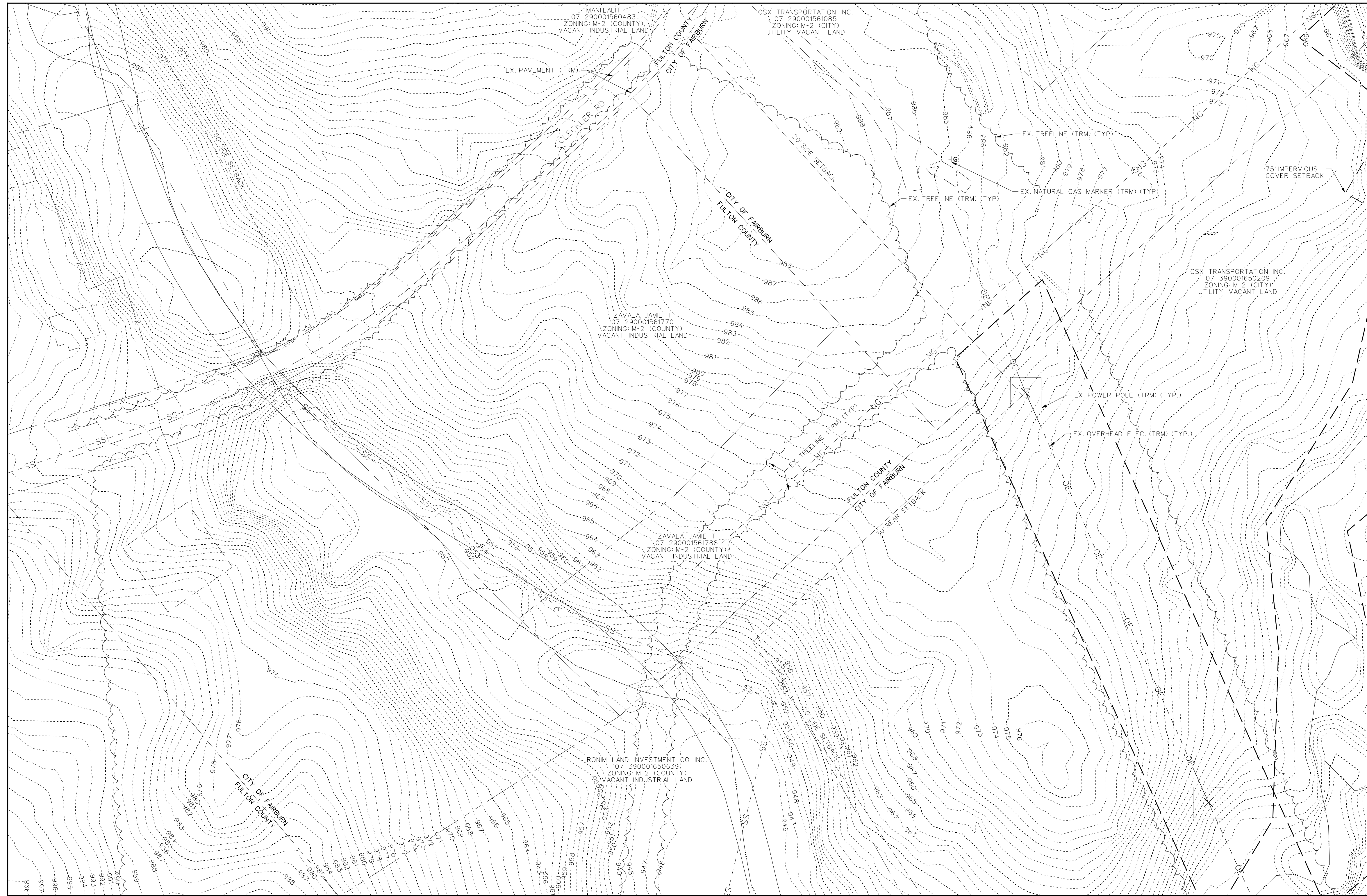
CSX TRANSPORTATION, INC.
 ENGINEERING DEPARTMENT
 DESIGN & CONSTRUCTION
 JACKSONVILLE, FLORIDA

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 590 New Albany Road Columbus, OH 43254
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VAL. SEC.	CONTRACT NO. 20250791
	DRAWING NO. CS-108
	REVISION 0 SHEET NO. 13 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 8
 FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-102



LEGEND

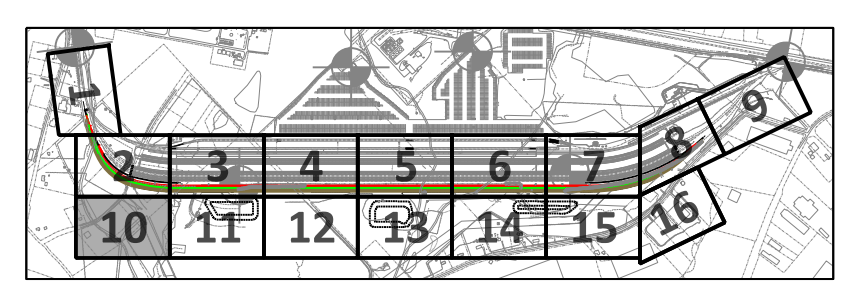
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	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
	EXISTING GUARDRAIL
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING C/L OF DITCH
	EXISTING C/L OF DITCH (TBR)
	EXISTING FENCE
	EXISTING FENCE (TBR)
	EXISTING C/L OF PAVEMENT
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING EDGE OF GRAVEL (TBR)
	EXISTING TREELINE
	EXISTING TREELINE (TBR)
	EXISTING BUILDING
	POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
	SIZE OF TURNOUT
	PROPOSED C/L OF TRACK
	RESURFACED EXISTING TRACK
	EXISTING HIGHMAST LIGHT
	EXISTING LIGHT POLE
	EXISTING POWER POLE
	EXISTING PAVEMENT

NOTES:

1. ANY DISTURBANCES TO STREAM BUFFERS OR ENVIRONMENTAL FEATURES SHALL BE PERMITTED PRIOR TO DISTURBANCE.

MATCH LINE
SEE DRAWING NO. CS-111

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DESIGNED BY	BJH	CSX TRANSPORTATION, INC. ENGINEERING DEPARTMENT DESIGN & CONSTRUCTION JACKSONVILLE, FLORIDA
DRAWN BY	BJH	
CHECKED BY	MJS	
APPROVED BY	RAH	
DATE	MAY 12, 2026	

VAL. SEC.	CONTRACT NO. 20250791
	DRAWING NO. CS-110
	REVISION 0 SHEET NO. 15 OF 21
	SCALE 1" = 50'

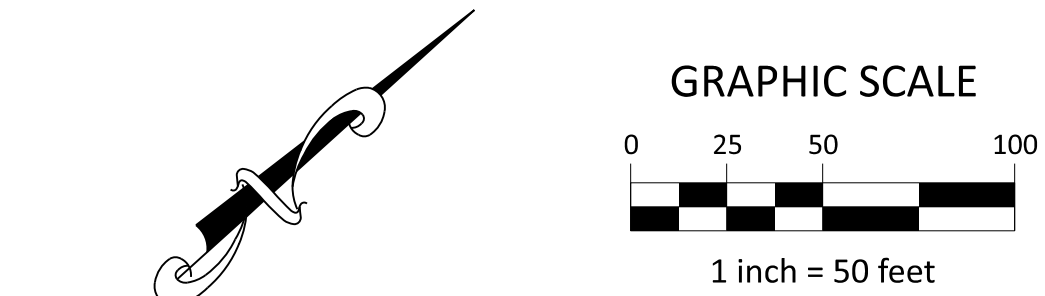
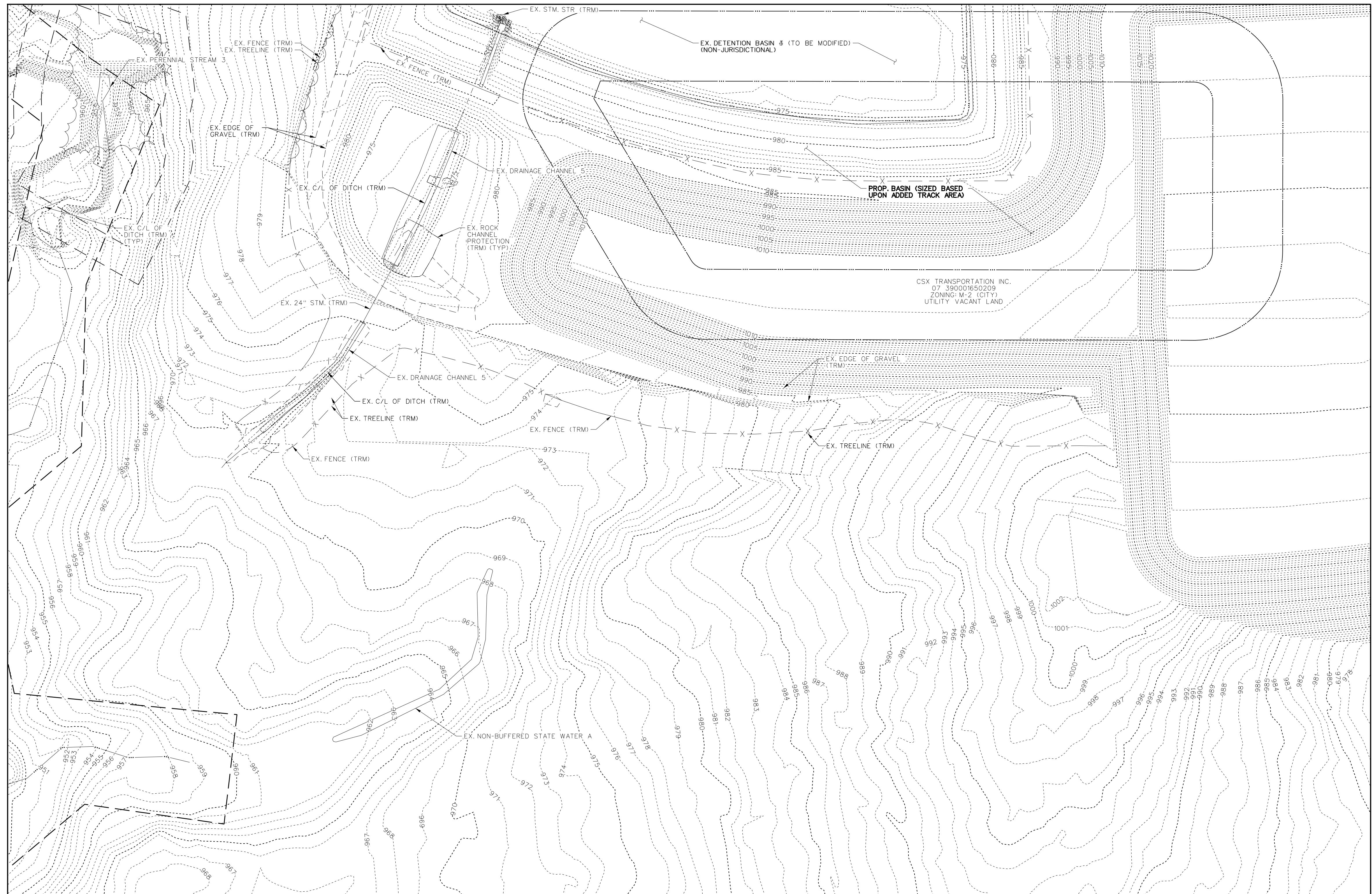
FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
SITE PLAN - ZONE 10
FAIRBURN, GA

PROJECT NUMBER	COST ELEMENT	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT
REV	DATE	DESCRIPTION	BY	SUB	APP

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PROJECT NUMBER	COST ELEMENT	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT

MATCH LINE
 SEE DRAWING NO. CS-103



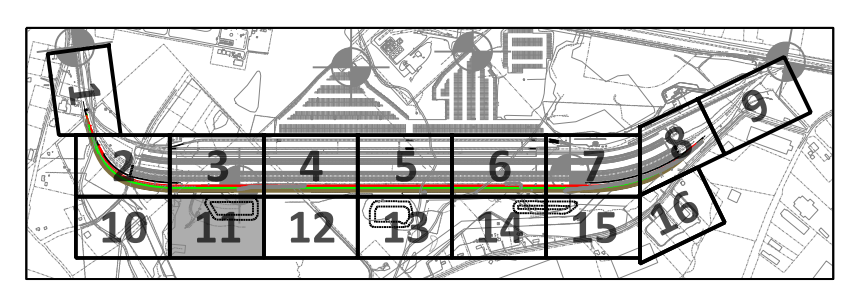
LEGEND

	EXISTING RIGHT-OF-WAY
	PROJECT BOUNDARY
	MUNICIPAL BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	POINT OF SWITCH (DENOTES SIDE SWITCH STAND/MACHINE IS ON)
	EXISTING C/L OF TRACK
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING UTILITY (TBR)
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	DRAWING NO. CS-111
	REVISION 0 SHEET NO. 16 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 11
 FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-104



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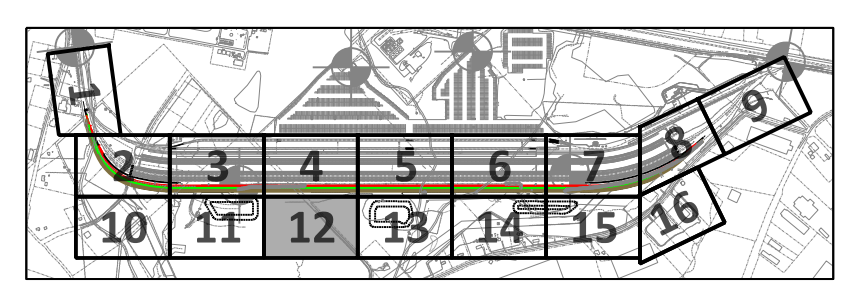
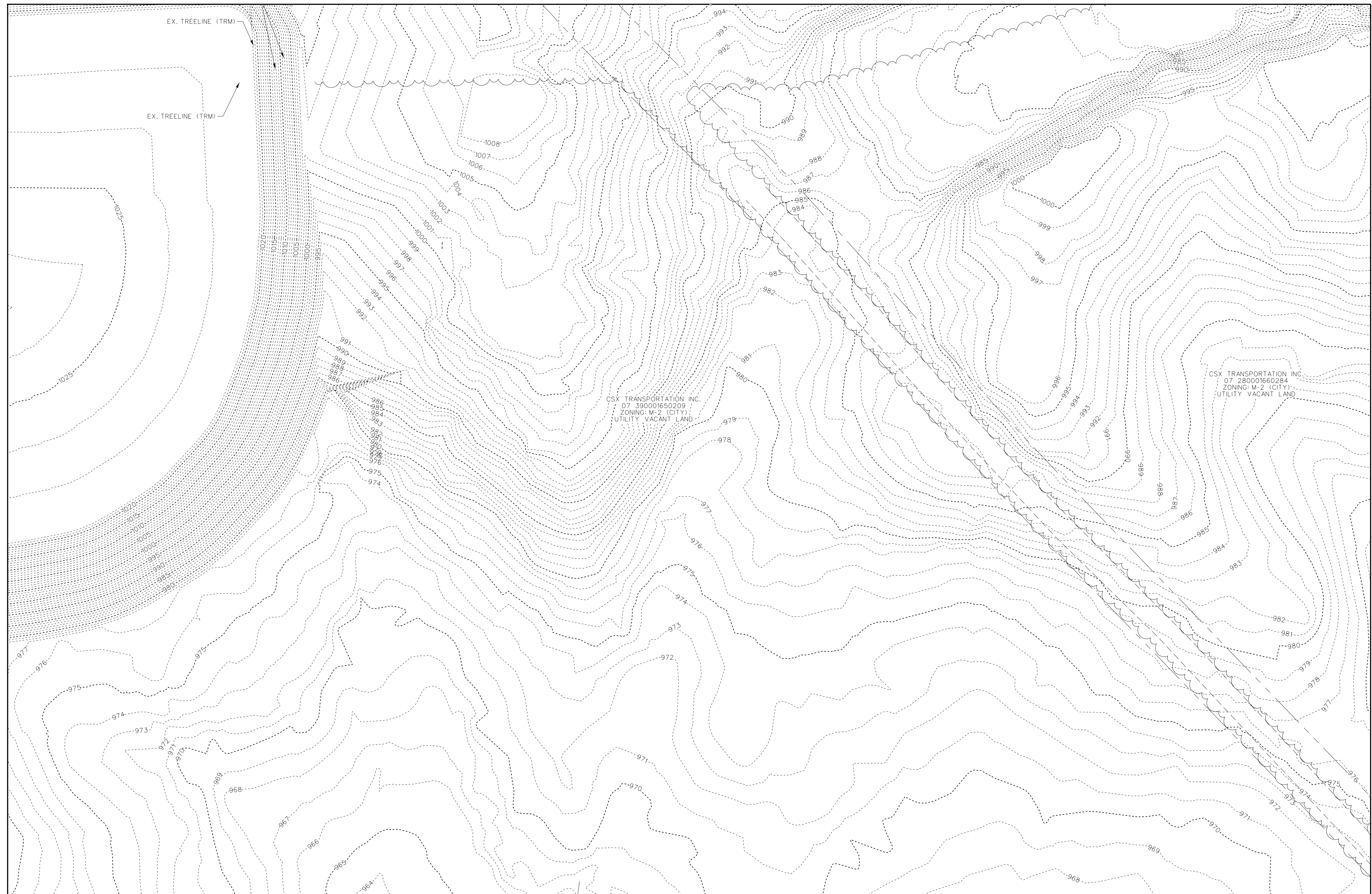
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PROJECT NUMBER	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT

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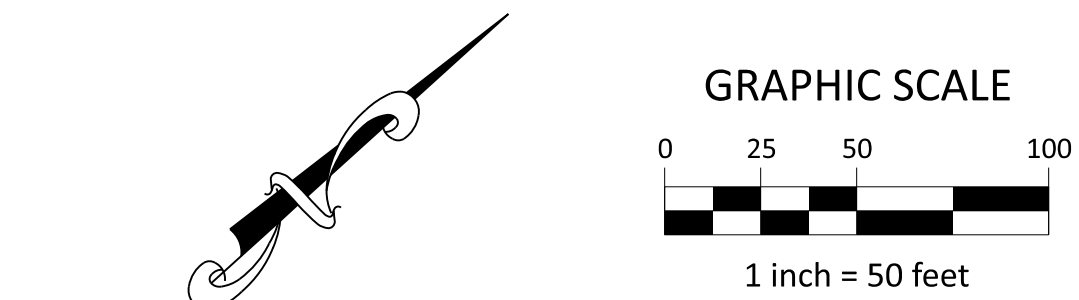
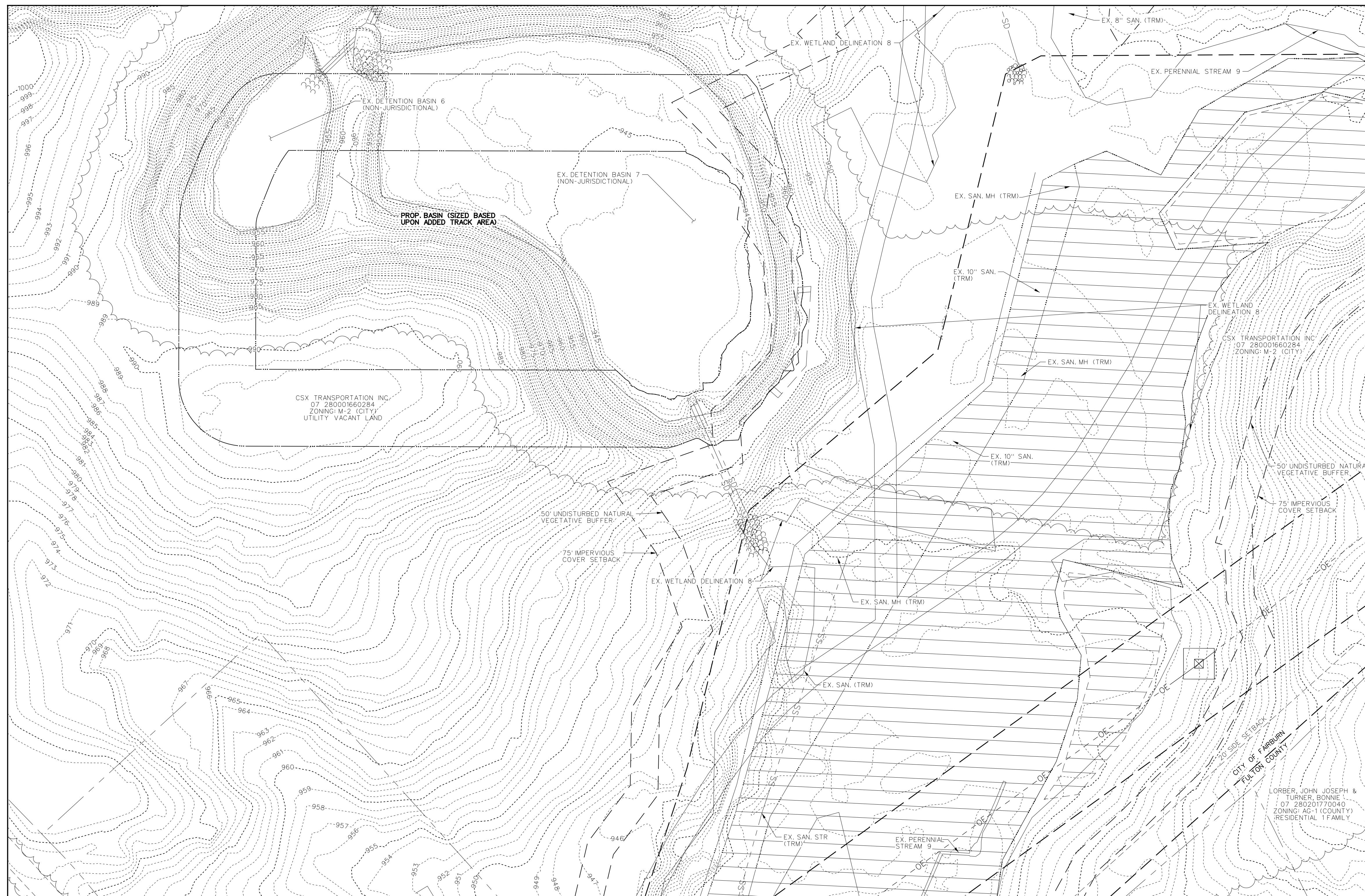
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APPROVED BY	RAH	
DATE	MAY 12, 2026	

VAL. SEC.	CONTRACT NO.	20250791
	DRAWING NO.	CS-112
	REVISION	0
	SHEET NO.	17 OF 21
	SCALE	1" = 50'

FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
SITE PLAN - ZONE 12
FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-105



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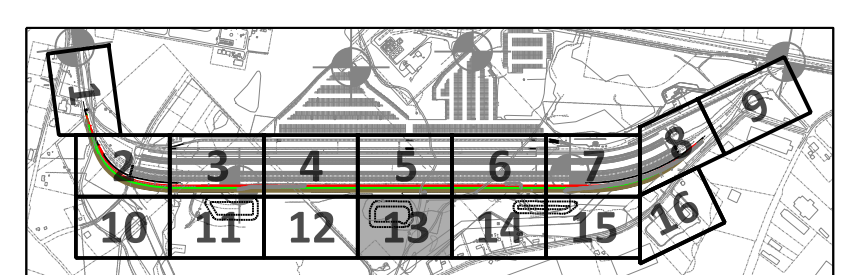
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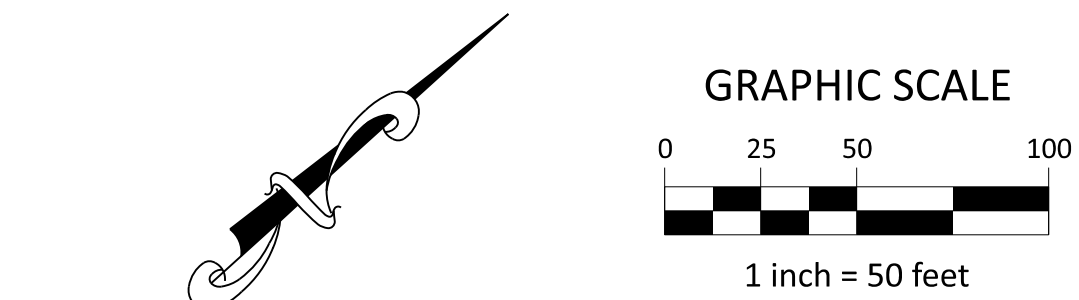
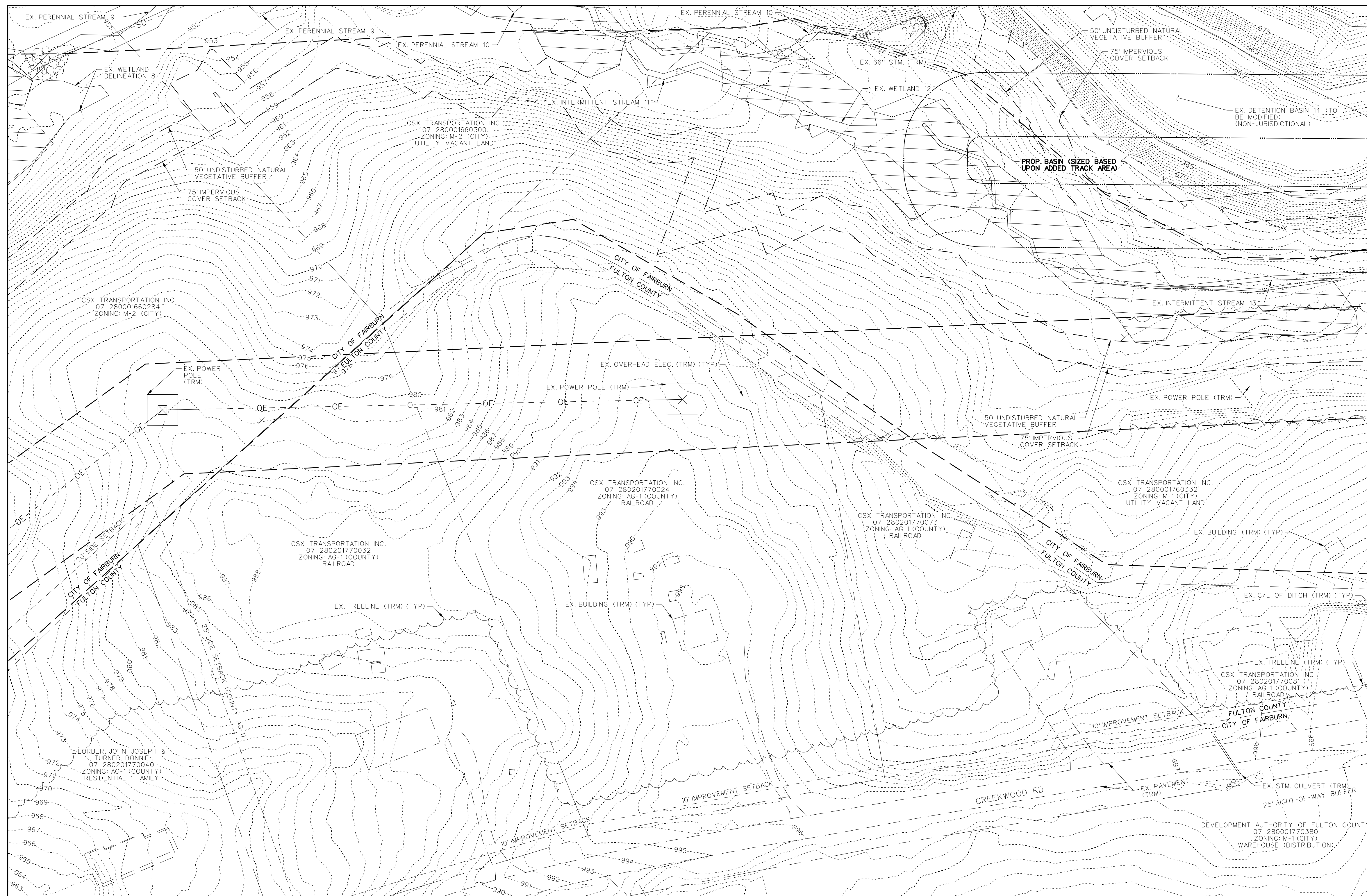
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	DRAWING NO. CS-113
	REVISION 0 SHEET NO. 18 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
SITE PLAN - ZONE 13
FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-106



LEGEND

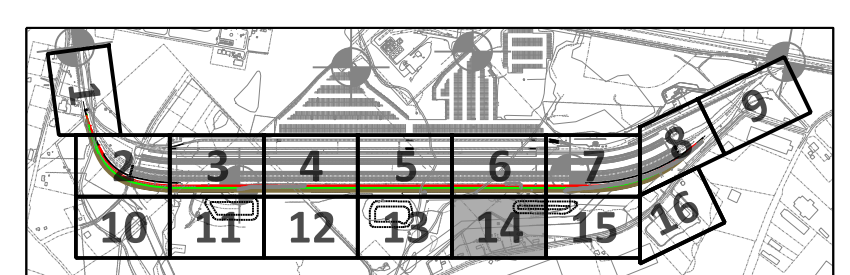
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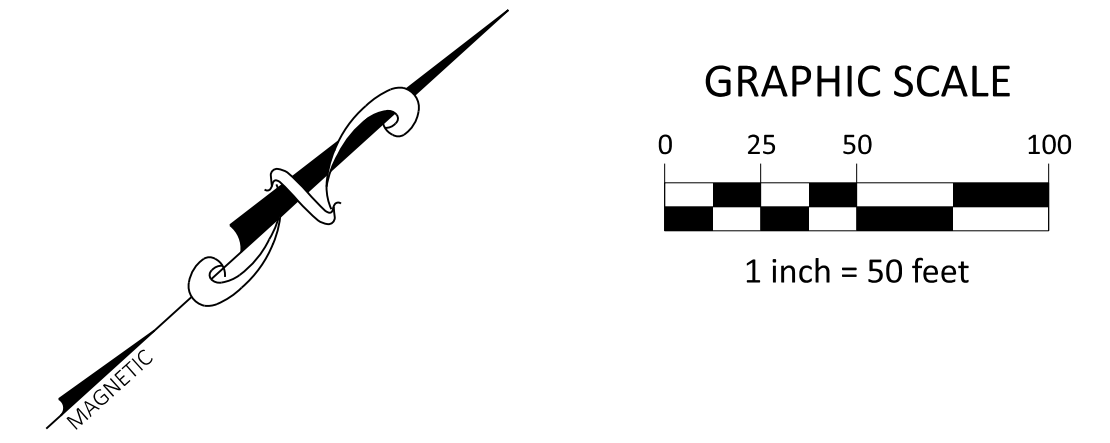
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	DRAWING NO. CS-114
	REVISION 0 SHEET NO. 19 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
SUPPORT TRACK EXPANSION
SITE PLAN - ZONE 14
FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-107



LEGEND

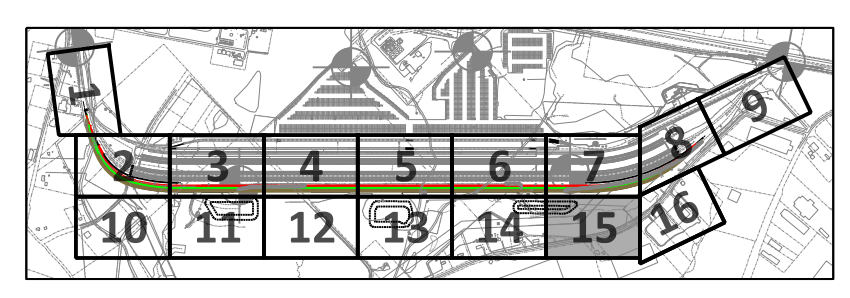
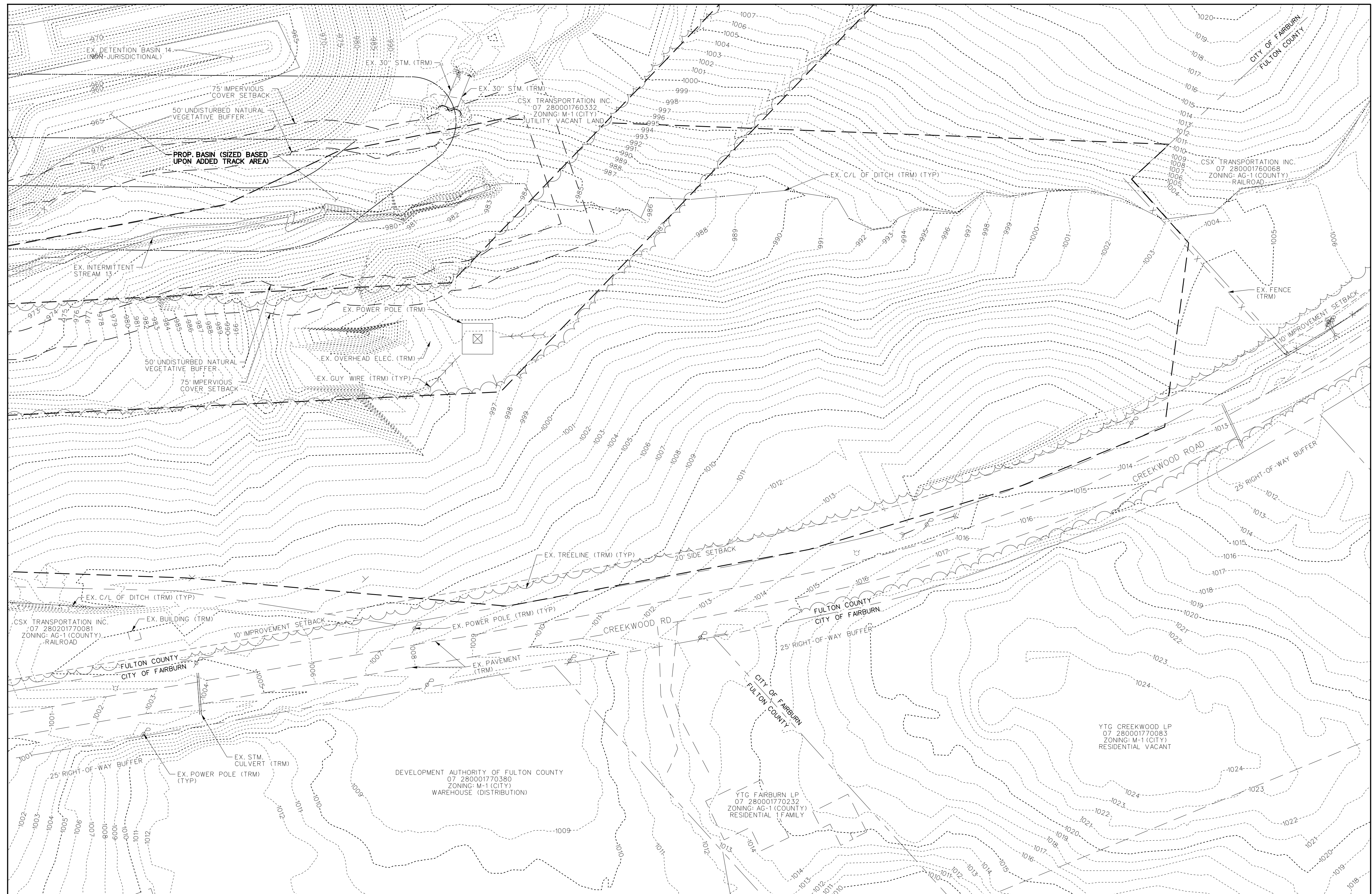
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PROJECT NUMBER	COST ELEMENT	LINE ITEM	CONTRACT DESIGNATOR	PHYSICAL ENTITY	WORK ELEMENT

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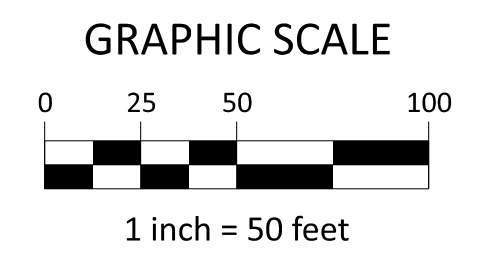
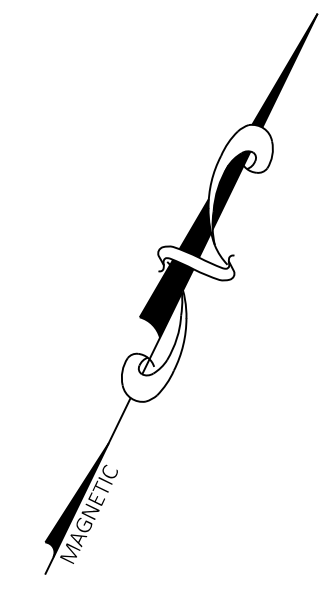
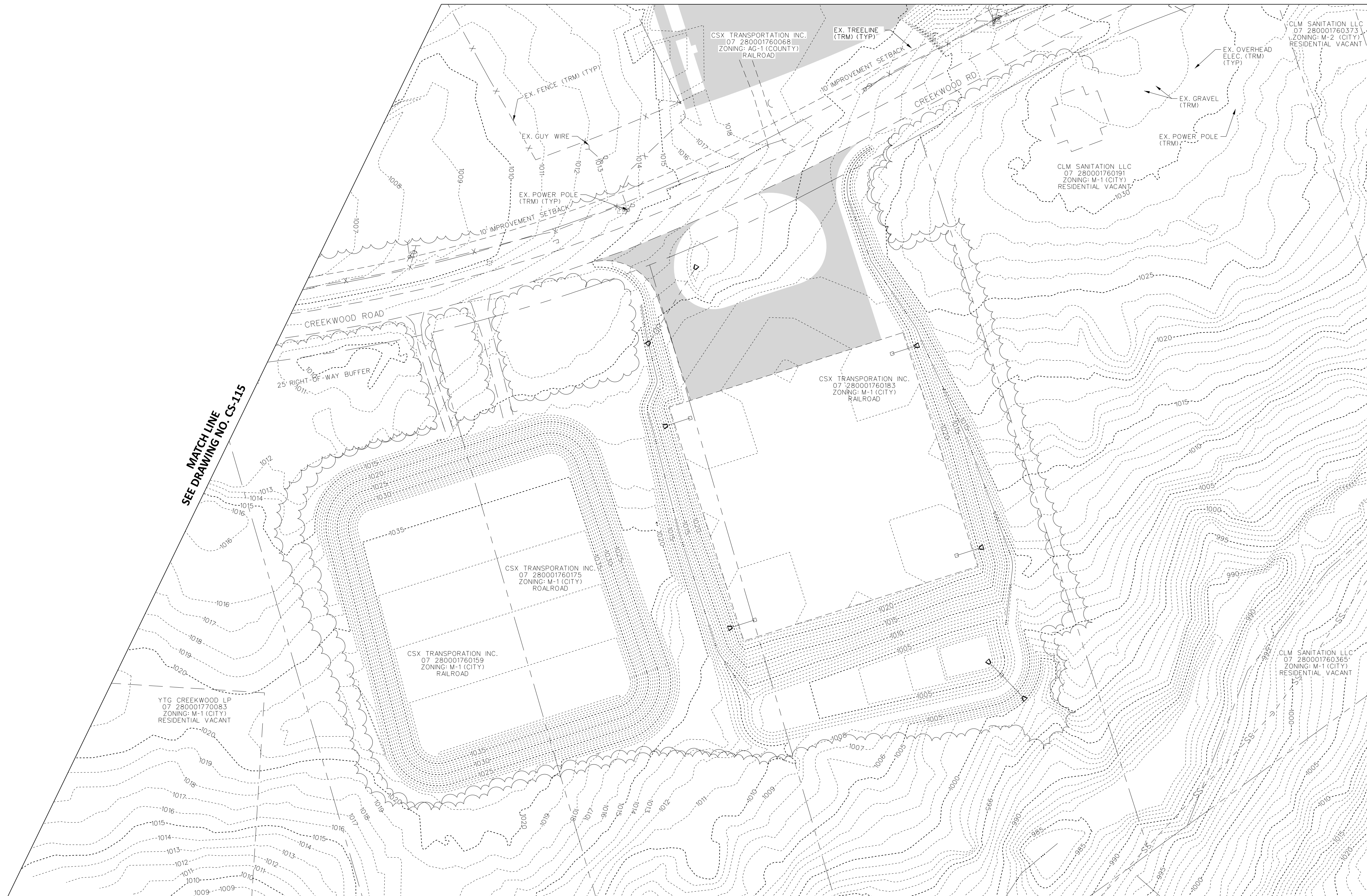
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	DRAWING NO. CS-115
	REVISION 0
	SHEET NO. 20 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 15
 FAIRBURN, GA

MATCH LINE
SEE DRAWING NO. CS-108



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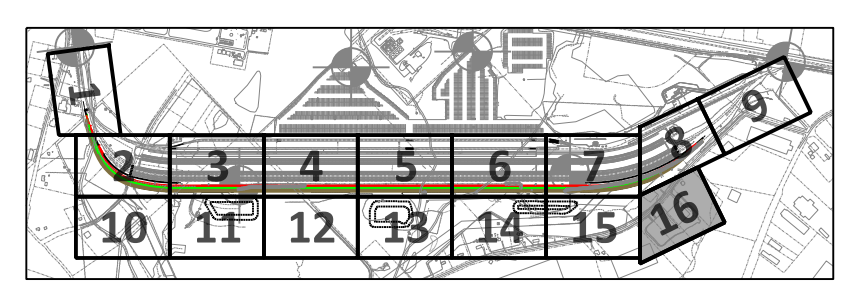
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	DRAWING NO. CS-116
	REVISION 0 SHEET NO. 21 OF 21
	SCALE 1" = 50'

FAIRBURN, GA TERMINAL
 SUPPORT TRACK EXPANSION
 SITE PLAN - ZONE 16
 FAIRBURN, GA



CITY OF FAIRBURN PLANNING AND ZONING AGENDA ITEM

SUBJECT: Text Amendment - Coworking Space

ITEM TYPE: Other

SUBMITTED: 05/29/2026 **WORK SESSION:** N/A **COUNCIL MEETING:** 07/13/2026

DEPARTMENT: Planning & Zoning

BUDGET IMPACT: N/A

PUBLIC HEARING: No

PURPOSE:

For the Planning and Zoning Commission to provide a recommendation to the Mayor and City Council regarding a text amendment pertaining to coworking spaces.

HISTORY:

N/A

FACTS AND ISSUES:

The City of Fairburn zoning regulations were developed to allow for traditional office space, Coworking spaces represent a distinct and growing category of commercial activity that existing zoning codes have not historically addressed as a defined use. Without a formal classification, these facilities have operated under general office or commercial standards that do not account for the unique occupancy patterns, membership-based access models, or mix of individual and collaborative work activity. The proposed regulations create a clear, enforceable definition; establish permissibility within appropriate zoning districts; and provide tailored standards for parking, operations, screening, and compatibility.

FUNDING SOURCE:

RECOMMENDED ACTION:

Staff recommends approval of the coworking space text amendment.

ATTACHMENTS:

1. Coworking Space _Staff Report



**CITY OF FAIRBURN
PLANNING AND ZONING COMMISSION
AGENDA ITEM**

To: Planning and Zoning Commission
From: Denise Brookins, Planning and Zoning Director
Date: May 29, 2026
Agenda Item: Coworking Space – Request to review the text amendments.

Purposes

For the Planning and Zoning Commission to review and make a recommendation regarding the proposed regulations for coworking space.

Background

The City of Fairburn zoning regulations were developed to allow for traditional office space-. Coworking spaces represent a distinct and growing category of commercial activity that existing zoning codes have not historically addressed as a defined use. Without a formal classification, these facilities have operated under general office or commercial standards that do not account for the unique occupancy patterns, membership-based access models, or mix of individual and collaborative work activity.

The proposed regulations create a clear, enforceable definition; establish permissibility within appropriate zoning districts; and provide tailored standards for parking, operations, screening, and compatibility. The regulations support economic development and adaptive reuse while protecting surrounding properties from adverse impacts.

Discussion

The proposed regulations align with several adopted planning objectives:

- **Economic Development** - Coworking spaces support entrepreneurship, small business incubation, and workforce flexibility, contributing to commercial activity and tax base growth.
- **Adaptive Reuse** - The permitted use list targets commercial, office, and industrial/flex districts where coworking can activate underutilized buildings without introducing incompatible uses.
- **Parking Modernization** - The occupancy-based and walkability reduction pathways reflect actual demand patterns and reduce unnecessary impervious surface while maintaining accountability through periodic review.
- **Residential Protection** - Explicit prohibition in residential districts and buffer yard requirements adjacent to single-family zones preserve neighborhood character.
- **Regulatory Clarity** - A formal use definition eliminates ambiguity in permitting and enforcement, reducing staff interpretation burden and applicant uncertainty.

Staff recommends approval of the proposed Coworking Space Use Regulations as presented. The regulations are consistent with the long-range planning policies, and economic development priorities. The concept review requirement, parking flexibility provisions, and operational standards collectively provide a framework that accommodates modern workspace demand while protecting the public interest and surrounding land uses.

Staff Recommendation

Staff recommends approval of the enclosed regulations for coworking space.

Summary of the Text Changes:

Section 1: Purpose and Intent

The purpose of these regulations is to define coworking space uses; establish the allowable zoning districts; and provide development, operational, and compatibility standards that support flexible and modern work environments while protecting surrounding properties from adverse impacts.

These regulations are intended to distinguish coworking space uses from residential occupancy, hotels, lodging establishments, and large assembly or event venues, while recognizing coworking as a form of office and commercial activity that contributes to economic development, entrepreneurship, and business growth.

Section 2. Definitions

2.1 Coworking Space

“Coworking Space” shall mean a building or portion thereof used by multiple independent individuals, entrepreneurs, professionals, or businesses who share common work areas, facilities, and services, including but not limited to desks, offices, conference rooms, internet connectivity, reception services, kitchens, lounges, and related amenities, typically on a membership, subscription, or license basis.

Coworking spaces may include dedicated desks, private offices, meeting rooms, collaborative workspaces, and accessory business support services.

Accessory educational, networking, and business-related events may be permitted, provided such activities remain subordinate and incidental to the principal coworking use and comply with all applicable occupancy, fire, and life-safety regulations.

Section 3. Business Licensing

The operator of a coworking space shall obtain and maintain all required business licenses and approvals necessary for operation of the facility in accordance with applicable local, state, and federal requirements.

Section 4. Application and Concept Review

4.1 Concept Review Required

Prior to the issuance or approval of an occupational tax certificate, all coworking space uses shall undergo concept review by the Planning and Zoning Commission. No occupational tax certificate shall be issued until concept review has been completed and approved in accordance with this section.

4.2 Required Submittal Materials

The applicant shall submit the following materials to the Planning Department for concept review:

1. Floor Plan. A floor plan of the proposed coworking space drawn to scale, depicting the layout of all work areas, private offices, conference rooms, common areas, accessory spaces, and points of ingress and egress;
2. Boundary Survey. A boundary survey of the subject property prepared by a licensed surveyor, unless one has been previously accepted by the City and remains current;
3. Interior Modification Plan. A proposed interior modification plan, if applicable, identifying all interior alterations, partitions, or improvements in connection with the coworking use, including any changes affecting fire egress, occupant load, or accessibility; and
4. Parking Plan. A parking plan illustrating the location, dimensions, number, and surfacing of all required off-street parking spaces, accessible spaces, bicycle parking, and points of vehicular access and circulation in accordance with Section 6 of these regulations.

4.3 Review Process

Submittals shall be reviewed by the Planning and Zoning Commission at a regularly scheduled meeting. The Commission may approve, approve with conditions, or request revisions to the concept submittal. Approval of concept review shall not constitute approval of a building permit, certificate of occupancy, or any other required authorization.

Section 5. Permitted Use

Coworking spaces shall be permitted uses within the following zoning districts: Downtown Mixed-Use (DTMU), Neighborhood Commercial (C-1), General Commercial (C-2), Office and Institutional (O&I), Light Industrial (M-1), and Heavy Industrial (M-2).

Section 6. Development Standards and Accessory Use

6.1 General Standards

1. Building height shall comply with the standards of the applicable zoning district.
2. Setbacks shall comply with the standards of the applicable zoning district.
3. Where a coworking space is adjacent to a single-family residentially zoned property, a landscaped buffer yard or screening area with a minimum width of twenty-five (25) feet shall be provided in accordance with applicable landscaping requirements.

6.2 Permitted Accessory Uses

The following accessory uses shall be permitted within a coworking space, provided they remain subordinate and incidental to the principal coworking use and comply with all applicable licensing, building, fire, and health code requirements:

Food and Beverage

1. Coffee shop, or café, including counter service available to both members and the general public;
2. Juice bar, smoothie bar, or similar light refreshment service;
3. Vending machines or automated micro-market retail; and
4. Catering preparation kitchen, limited to in-house service for events and members occurring on the premises.

Business Support Services

1. Printing, copying, mailroom, and shipping and receiving services;
2. Notary public services;
3. Technology support, repair, or IT services; and
4. Shared administrative, reception, or virtual office services available to members.

Wellness and Member Amenities

1. Fitness room, yoga studio, or meditation space for use by members and their guests;

Retail

1. Temporary or rotating pop-up vendor or artisan market, subject to a maximum of six events per calendar month and compliance with all applicable licensing requirements.

6.3 Public-Facing Service

Accessory food and beverage uses listed under Section 6.2 (Food and Beverage, items 1 through 3) may serve both members and the general public without restriction. All other accessory uses shall be oriented primarily toward members and their guests unless otherwise approved by the city staff.

6.4 Subordination Standard

No accessory use shall, individually or in combination, become the principal use of the premises. Where staff determines that an accessory use has grown to constitute the primary commercial activity of the facility, the operator shall be required to obtain separate use approval for that use or reduce the accessory use to conformance with this section within sixty (60) days of written notice.

Section 7. Parking and Transportation Standards

7.1 Minimum Parking Requirements

7.1.1 Off-Street Parking Ratio

Off-street parking for coworking spaces shall be provided at the same ratio required for general office uses within the applicable zoning district unless modified pursuant to one or more of the following:

1. Shared Parking or Parking Study. An approved shared parking arrangement or parking study;
2. Occupancy-Based Reduction. The required parking ratio may be reduced to not less than fifty percent (50%) of the otherwise applicable standard where the operator demonstrates, through verifiable membership data, utilization records, or accepted industry benchmarks, that simultaneous peak occupancy is materially and consistently lower than total membership capacity. Such demonstration shall be submitted to and approved by the Planning Department and shall be subject to review no less than every three (3) years; or
3. Walkability / High-Density Zone Reduction. The required parking ratio may be waived or reduced where the subject property is located within a designated high-density area with multimodal pedestrian access, as established by the applicable zoning map or overlay district. The extent of any reduction shall be determined by staff based on the applicable zone designation and available transportation alternatives.

7.2 Other Parking Alternatives

The reviewing authority may approve reductions in required on-site parking where any of the following are provided:

1. Shared parking arrangements with nearby uses;
2. Off-site parking secured through a recorded parking agreement;
3. Access to public parking facilities within reasonable walking distance; or
4. Transit access, rideshare programs, bicycle facilities, or transportation demand management measures that demonstrably reduce parking demand.

Section 8. Enforcement

8.1 Prohibited Residential Use

Coworking spaces shall not be used for dwelling, lodging, overnight habitation, or any form of residential occupancy.

8.2 Hours of Operation

Coworking spaces located within commercial, mixed-use, and office districts may operate twenty-four (24) hours per day.

Coworking spaces located within industrial districts shall comply with any applicable operational limitations of the underlying zoning district.

8.3 Nuisance Standards

1. No use shall create noise, vibration, glare, smoke, dust, odors, parking or other impacts that constitute a nuisance or violate applicable environmental or performance standards.

2. Loading and unloading activities shall occur in designated service areas and in a manner that minimizes impacts on adjacent properties.

8.4 Assembly and Event Activities

A coworking space shall not operate principally as a banquet hall, entertainment venue, or event center, nor shall any such use be conducted within the same suite or demised space as the coworking use.

Where a building contains both a coworking space and a banquet hall, entertainment venue, or event center, such uses shall be permitted provided that:

1. Each use is located within a separately demised suite or tenant space with distinct and independent points of ingress and egress;
2. No coworking suite and event or assembly use share a common occupiable area, entry lobby used simultaneously, or internal connecting access during hours of concurrent operation; and
3. Each use independently satisfies all applicable parking, occupancy, fire, life-safety, and building code requirements for its respective use classification.

Activities within any suite involving assembly occupancies or occupant loads exceeding thresholds established by applicable building or fire codes shall comply with all requirements applicable to assembly uses, regardless of whether such suite is designated for coworking or event activity.

Section 9. Site Design and Screening

9.1 Screening Requirements

1. Refuse containers, loading areas, and mechanical equipment shall be screened from public streets and adjacent residential properties.
2. Screening shall consist of walls, fences, landscaping, or combinations thereof consistent with applicable design and landscaping standards.

Section 10. Enforcement and Violations

10.1 Violations

The following shall constitute violations of this ordinance:

1. Use of a coworking space for residential occupancy, lodging, or overnight habitation;
2. Operation of the use in violation of approved permits or applicable zoning conditions;
3. Failure to maintain required parking, screening, or buffering improvements; or
4. Failure to obtain or maintain required concept review approval or occupational tax certificate.

10.2 Enforcement Actions



Violations of these regulations may be subject to enforcement actions, including notices of violation, fines, suspension of permits, revocation of approvals following notice and hearing, or other remedies authorized by applicable law.